

RECEIVED  
TOWN CLERK  
BELMONT, MA

CASE NO. 21-16

2021 JUL -1 AM 11:18

NOTICE OF PUBLIC HEARING BY THE  
ZONING BOARD OF APPEALS

ON APPLICATION FOR ONE VARIANCE AND ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, July 19, 2021 at 7:00 PM by remote access through the Zoom app.to consider the application of Douglas Beudet for One Variance and One Special Permit under §1.5 of the Zoning By-Law to construct a Third Story Addition at 81 Birch Hill Road located in Single Residence A (SRA) Zoning district. Section 4.2 of the Zoning By-Law Dimensional Regulations allow a maximum of 2-1/2 stories and requires a minimum side setback of 15.0'. 1.- The existing structure is two and a half (2-1/2) stories. The lowest level of the dwelling is a basement (70.9% of the foundation walls are exposed) and is considered a story. The proposed addition is a third and a half (3-1/2) story addition. A Variance. 2.- The minimum required side setback is 15.0'. The existing and proposed side setback is 14.2'. A Special Permit.

ZONING BOARD OF APPEALS



Town of Belmont  
Zoning Board of Appeals

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TOWN CLERK  
BELMONT, MA

2021 JUL -1 AM 11:18

**APPLICATION FOR A SPECIAL PERMIT**

Date: April 9, 2021

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 81 Birch Hill Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for a second-floor addition consisting of 1,673 square feet. The easterly side of the existing structure is located 14.2 feet from the side setback. The minimum required side setback is 15 feet, as required by Section 4.2.2. The addition being proposed is to be constructed with a side setback of 14.2 feet.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner \_\_\_\_\_

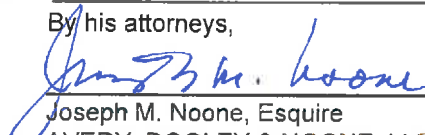
Print Name Douglas Beaudet

Address 689 Somerville Avenue

Somerville, MA 02143

Daytime Telephone Number \_\_\_\_\_

By his attorneys,

  
\_\_\_\_\_  
Joseph M. Noone, Esquire  
AVERY, DOOLEY & NOONE, LLP  
3 Brighton Street, Belmont, MA 02478  
(617) 489-5300

December 6, 2005

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BELMONT, MA

2021 JUL -1 AM 11:21



Town of Belmont  
Zoning Board of Appeals

**APPLICATION FOR A VARIANCE**

Date: April 9, 2021

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of the Massachusetts General Laws, Chapter 40A, Section 10, as amended, I/we, the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 81 Birch Hill Road Street/Road, petition your Board to vary the terms of the Zoning By-Laws of the Town insofar as the same applies to the proposed erection of a second floor addition, in accordance with the plan attached hereto, on the ground that (submit a written statement addressing each of these criteria):

1. Owing to circumstances relating to soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the Zoning District in which it is located, a literal enforcement of the Provisions of this By-Law would involve substantial hardship, financial or otherwise, to the petitioner;
2. Desirable relief may be granted without substantial detriment to the public good, (i.e., surrounding neighborhood), and;
3. Without nullifying or substantially derogating from the intent and purpose of this By-Law.

The petitioner(s) seek permission to construct: (brief description and violation) A second-floor addition consisting of 1,673 square feet. The existing structure is considered two and a half (2 1/2) stories, as the lowest level of the dwelling, a basement, is considered a story per Section 4.2.2. The proposed addition, with a total height of 26.65 feet, creates a three and a half (3 1/2) story dwelling due to the basement being considered a story.

Signature of Petitioner \_\_\_\_\_

Print Name Douglas Beaudet

Address 689 Somerville Avenue

Somerville, MA 02143

Daytime Telephone Number \_\_\_\_\_

By his attorneys,

Joseph M. Noone, Esquire  
AVERY, DOOLEY & NOONE, LLP  
3 Brighton Street, Belmont, MA 02478  
(617) 489-5300



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

January 21, 2021

Douglas Beaudet  
81 Birch Hill Road  
Belmont, MA 02478

RE: Denial to Construct a Third Story Addition

Dear Mr. Beaudet,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a third story addition at 81 Birch Hill Road located in a Single Residence A Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations allow a maximum of 2-1/2 stories and requires a minimum side setback of 15.0'.

1. The existing structure is two and a half (2-1/2) stories. The lowest level of the dwelling is a basement (70.9% of the foundation walls are exposed) and is considered a story. The proposed addition is a third and a half (3-1/2) story addition. A Variance.
2. The minimum required side setback is 15.0'. The existing and proposed side setback is 14.2'. A Special Permit.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Variance and one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings

## STATEMENT OF APPLICANT

April 9, 2021

The Applicant, Douglas Beaudet, seeks a dimensional variance and a side set back special permit to construct a one-story addition to 81 Birch Hill Road. The dwelling is a raised ranch with a two-car garage existing in a sizable portion of the basement. Due to the topography of the lot, the basement counts as a "story," as the exposed portion of foundation walls exceeds that permitted in the by-law to constitute a basement. The eastern side of the dwelling is non-conforming because the side set back is 14.2 feet, and not 15 feet, as required for the SR-A zoning district.

The dwelling is located in the SR-A zoning district. The lot consists of 14,159 square feet and the existing structure consists of 1,774 square feet TLA. The proposed addition razes the roof and adds a floor to create a dwelling consisting of 4,111 square feet TLA.

The topography of the lot is such that the grade is higher on the eastern side of the property. The change in grade is approximately 4 feet. (See Exhibit A, Photos). The by-law permits a height of up to 36 feet, or 2½ stories. The proposed addition creates a building height of 26.65 feet. However, the topography of the lot causes the basement to count as a story under the by-law and causes the proposed structure to have three stories.

The topography of the land is creating a hardship to the applicant that is unique to this parcel. The existing structure is small by today's standards for modern homes. Without a variance, the topography of the lot effectively precludes the applicant from upgrading the dwelling to the size of a home sought by current home owners. The only way to create additional living space to the structure is to add a story to the structure, as the rear and side setbacks preclude enlarging the footprint of the building.

The proposed addition to the structure will not be substantially more detrimental to the neighborhood than the existing non-conforming structure. The Birch Hill Road neighborhood consists of many large homes with several of the abutting properties having undergone substantial renovations. For example, 33 Birch Hill Road was previously a similar-styled ranch house that was remodeled in 2019 with an addition to create a structure with six bedrooms, six baths and consisting of total living area of 6,063 square feet. (See Exhibit B). Another split ranch at 50 Birch Hill was remodeled in 2019 to create a structure with six bedrooms, six baths and consisting of total living area of 5,088 square feet. The attached spreadsheet identifies to the size of the homes on the street. Of the 24 homes on Birch Hill Road, the subject property is the second smallest. (See Exhibit C.) If the application is granted, the property will be the fifth largest in terms of TLA bringing it more in line with the size of the homes in the neighborhood. The proposed addition creates a dwelling closer in size to many of the other homes on the street that have been renovated over the last few years.

A lesser showing of hardship is often appropriate for dimensional variances because they usually do not change the character of the zoning district or endanger nearby properties with an inconsistent land use. See DiGiovanni v. Bd. of Appeals of Rockport, 19 Mass. App. Ct. 339 (1984). The proposed addition will not alter the character of the neighborhood. Rather, the addition will make the property more like the surrounding properties that have undergone extensive renovations. More importantly, the height of the proposed dwelling is well below the height limitation of the zoning district. The height of the dwelling does not look out of place and conforms to the look of this changing neighborhood.

Mr. Beudet needs a special permit for the side set back because it encroaches eight inches into the district side set back requirement of 15 feet. The side set back encroachment of

the addition is de-minimus and should be granted in accordance with the holding of Bjorklund v. Zoning Bd. of Appeals, 450 Mass. 357 (2008).

Mr. Beaudet has reached out to the surrounding abutters and most are in favor of the project. The attached petition identifies the abutters in support of the project.

Unfortunately, Mr. Beaudet comes to the ZBA with a project that was started and shut down by the Town. The circumstances under which Mr. Beaudet arrived in this situation were not intentional, but due to a reliance upon incorrect information. Mr. Beaudet apologizes for the inconvenience caused by his misunderstanding.

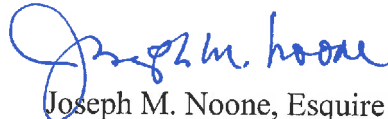
By way of background for the project, Mr. Beaudet was informed by the project architect that zoning relief was not necessary. Mr. Beaudet obtained a demolition permit and began demolition. After demolition was commenced, Mr. Beaudet was informed that zoning relief was required because the basement of the structure counted as a story and due to a side set back issue. Because the building was exposed after the demolition, the project contractor had no choice but to make the structure weather tight so as to prevent damage to the structure and vandalism. The shutdown of the project occurred during the Covid Pandemic and has resulted in a lengthy delay in seeking the required zoning relief.

Mr. Beaudet is a local developer with an outstanding reputation. With more than fifty local projects completed, Mr. Beaudet is renowned for his standards of clean, beautiful and enduring construction. His renovations and new buildings carry a 'signature look' that have become his hallmark – blond maple flooring, custom shaker-style cabinetry in the kitchen and baths, chrome finishes, hotel-quality glass shower doors, plentiful closets and storage, tailored landscaping, high ceilings and lots and lots of beautiful windows. Mr. Beaudet graduated from University of Massachusetts in 1985 with a Bachelor's degree in Marketing, and minors in

Economics and Mathematics. He is an active supporter of the Little Sisters of the Poor, a nonprofit group that provides resources and dignity to the elderly in Somerville.

In conclusion, Mr. Beaudet respectfully requests the Board grant the zoning relief sought.

Respectfully submitted,



Joseph M. Noone, Esquire  
AVERY DOOLEY & NOONE, LLP  
For Douglas Beaudet



# **EXHIBIT A**



ERBILT

ZIP System

DUPONT Tyvek HomeWrap

DUPONT Tyvek HomeWrap

DUPONT Tyvek HomeWrap

DUPONT Tyvek HomeWrap

DUPONT Tyvek HomeWrap

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# **EXHIBIT B**

**33 Birch Hill Rd Belmont ,MA**



**33 Birch Hill Rd file photo from  
Town of Belmont Assessor's Database**



**33 Birch Hill Rd file photo from  
Realtor.com**

**50 Birch Hill Rd Belmont ,MA**



**50 Birch Hill Rd file photo from  
Town of Belmont Assessor's Database**



**50 Birch Hill Rd file photo from  
Realtor.com**



# **EXHIBIT C**

Birch Hill Road Analysis

House #	Lot Size	TLA	Renovation
#7	23,928	1802	
#10	15680	2926	2000
#15	19344	2832	
#16	16777	2902	2007
#20	17228	2096	
# 25	15729	2525	
#28	16191	2060	
#33	15486	6063	2019
#34	15030	3108	2009
#39	15000	1930	
#44	15429	5755	2019
#45	15000	2331	
#53	22030	3843	
#49	29470	4281	
#50	16718	5088	2019
#65	14097	3024	
#70	18454	3961	
#71	13770	3135	
#76	17165	2298	
#85	14120	3211	
#99	15395	1374	
#93	14201	2374	

#94	15041	2852
#100	15000	2008
#105	21364	3662

## Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 81 Birch Hill Road \_\_\_\_\_

Zone: SR-A \_\_\_\_\_

Surveyor Signature and Stamp:  \_\_\_\_\_

Date: 11-02-2020

	REQUIRED	EXISTING	PROPOSED
Lot Area	25,000 Sq. Ft.	14,211 Sq. Ft.	14,211 Sq. Ft.
Lot Frontage	-	106.07 Ft.	106.07 Ft.
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	Max. 20%	14.5%	14.5%
Open Space	Min. 50%	65.6%	65.6%
Front Setback	30 Ft.	49.0 Ft.	49.0 Ft.
Side Setback	15 Ft.	35.1 Ft.	35.1 Ft.
Side Setback	15 Ft.	14.2 Ft.	14.2 Ft.
Rear Setback	40 Ft.	41.2 Ft.	41.2 Ft.
Building Height	36 Ft.	18.66 Ft.	26.65 Ft.
Stories	2.5	2	3
½ Story Calculation			

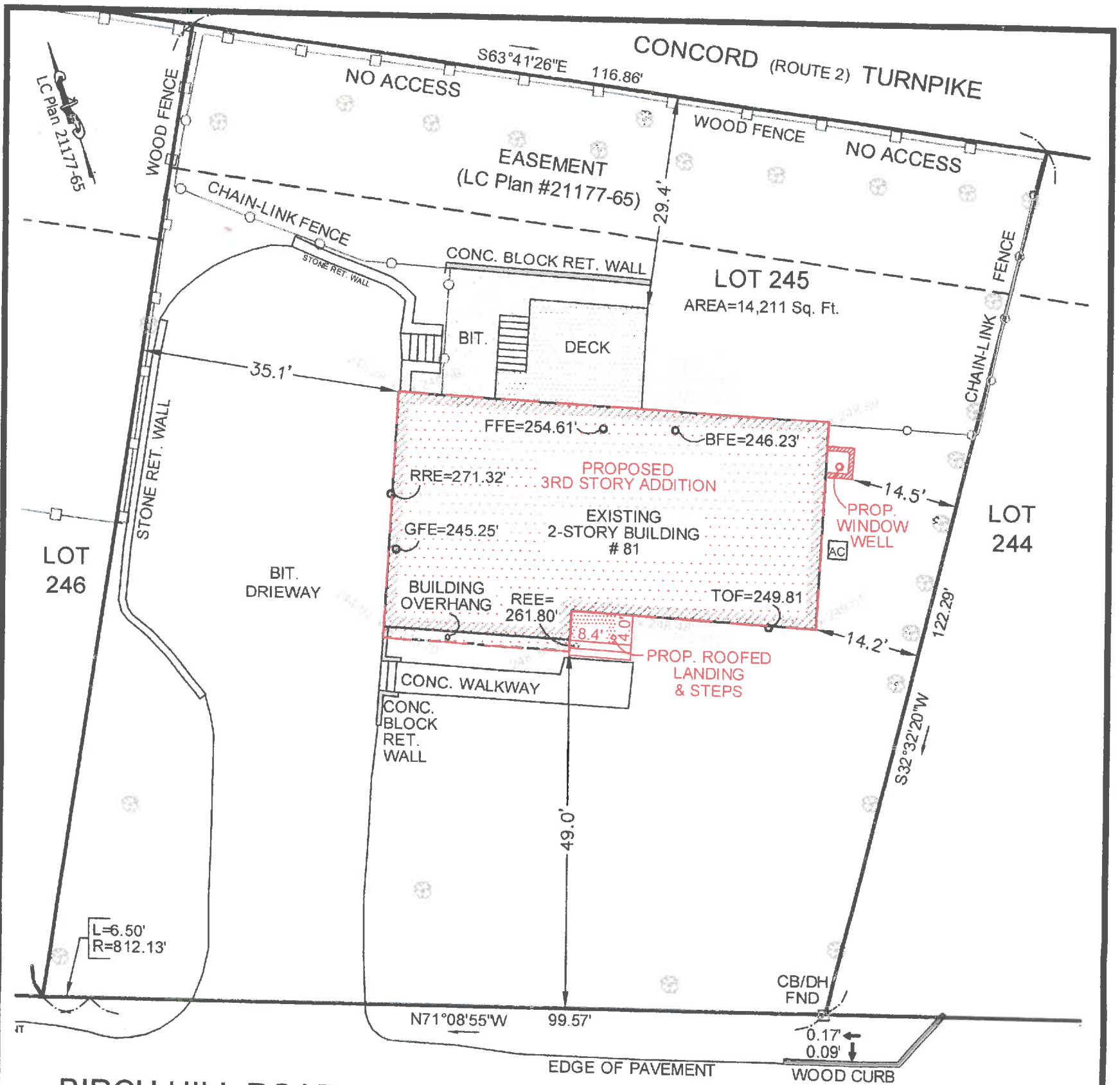
<b>NOTES:</b>

## Petition in Support of 81 Birch Hill Road Addition

Petition summary and background	The owners of 81 Birch Hill Road, Belmont propose to construct an addition to the second floor of the existing structure
Action petitioned for	We, the undersigned, are residents of Belmont and support the proposal for the addition to 81 Birch Hill Road.

Printed Name	Signature	Address		
DANIEL GABRIELONE	<i>Daniel Gabrielone</i>	85		
Brendan Dennis	<i>Brendan Dennis</i>	93		
Laura Esposito	<i>Laura Esposito</i>	99		
Tamar Kumpantingleski	<i>Tamar Kumpantingleski</i>	105		
Peter Hahn	<i>Peter Hahn</i>	100		
BAKOL PAIVU	<i>Bakol Paivu</i>	94		
Yongsheng Li	<i>Yongsheng Li</i>	76		
Dennis Platt	<i>Dennis Platt</i>	71		
Ramona Chubb	<i>Ramona Chubb</i>	65		
MARTA BRILW	<i>Marta Brilw</i>	59		
Daniel Silber	<i>Daniel Silber</i>	45		
Jillana Egan	<i>Jillana Egan</i>	57	LANTERN LANE.	





**BIRCH HILL ROAD**

	Required	Existing	Proposed
Lot Coverage	Max. 20%	14.5%	14.5%
Open Space	Min. 50%	65.6%	65.6%
Front Setback	30'	49'	49'
Site Setback	15'/15'	35.1'/14.2'	35.1'/14.2'
Rear Setback	40'	41.2'	41.2'
Building Height	36'	18.66'	26.65'
Stories	2.5	2	3

**NOTES:**

- \* Parcel ID: Map 74, Lot 8
- \* Legal Ref.: Cert.#272210
- \* Plan Ref.: LC Plan 21177-65  
LC Plan 21177-64  
LC Plan 21177-66
- \* Zoning: Single Residence A
- \* Elevations shown in feet above sea level.  
(In reference to " Sanitary Sewer Plan,  
Birch Hill Road, Belmont, Ma" dated 1967)
- \* Property is outside of flood zone based on  
Flood Insurance Rate Map for the town of  
Belmont #25017C 0412E, effective date June 4, 2010.
- \* No public shade trees are located within the limits  
of the property frontage of the subject property.

**Plot Plan**  
81 Birch Hill Road  
Belmont, MA 02478

Owner: Douglas S. Beaudet  
House No. 81  
Lot No. 245  
App. No. n/a  
Date November 6, 2020  
Scale 1 inch = 20 feet

*Neil J. Murphy*  
Neil J. Murphy, Lic. #17460  
Professional Land Surveyor

**LAND MAPPING**  
10 Andrew Square, Suite 201B  
South Boston, MA 02127  
Tel. 857-544-3061  
www.land-mapping.com

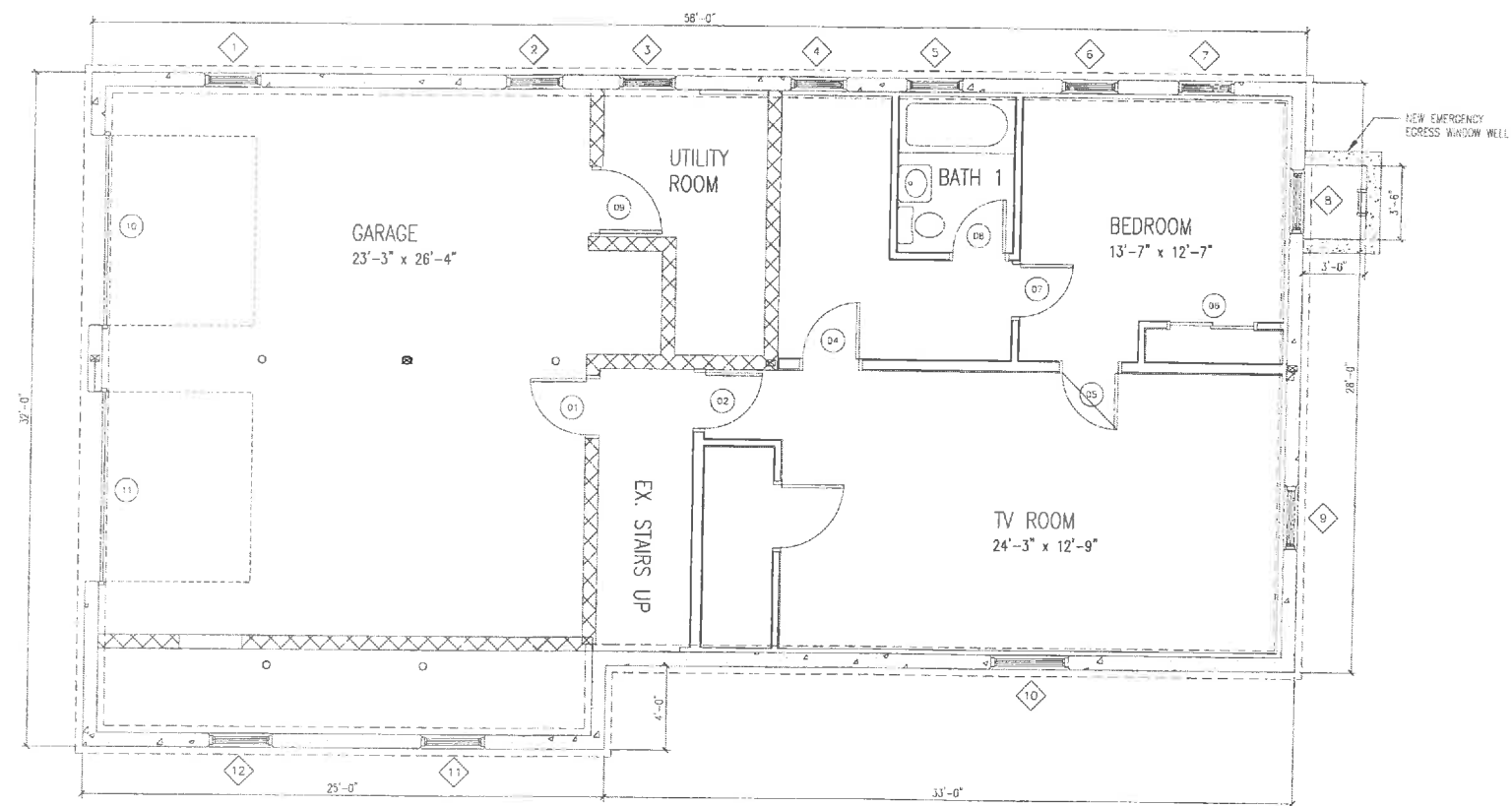




JASON JARVIS  
LOWELL, MA

RENOVATIONS TO EXISTING RESIDENCE

81 BIRCH HILL ROAD  
BELMONT, MA 02478



DATE	DATE	DESCRIPTION
PROJECT NO.	2010-01	
GOING FILE	81 BIRCH HILL	
DATE	02	
DRAWN BY		
CHECKED		
DATE		

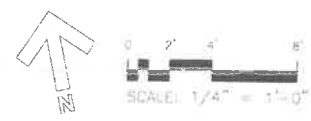
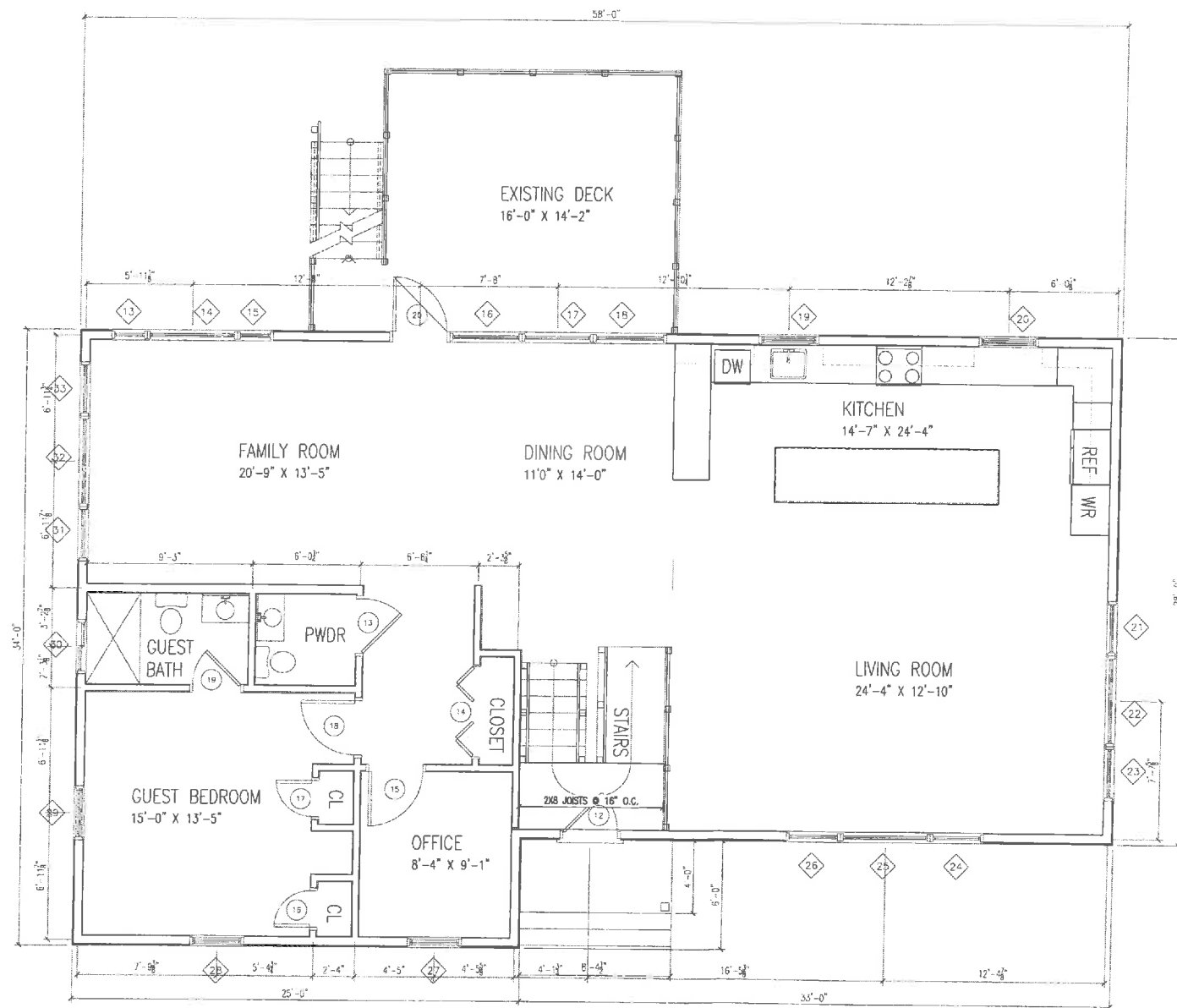
SHEET TITLE  
**EXISTING FIRST FLOOR  
FLOOR FRAMING PLAN**

A3.0

JASON JARVIS  
LOWELL, MA

RENOVATIONS TO EXISTING RESIDENCE

81 BIRCH HILL ROAD  
BELMONT, MA 02478



NO.	DATE	DESCRIPTION

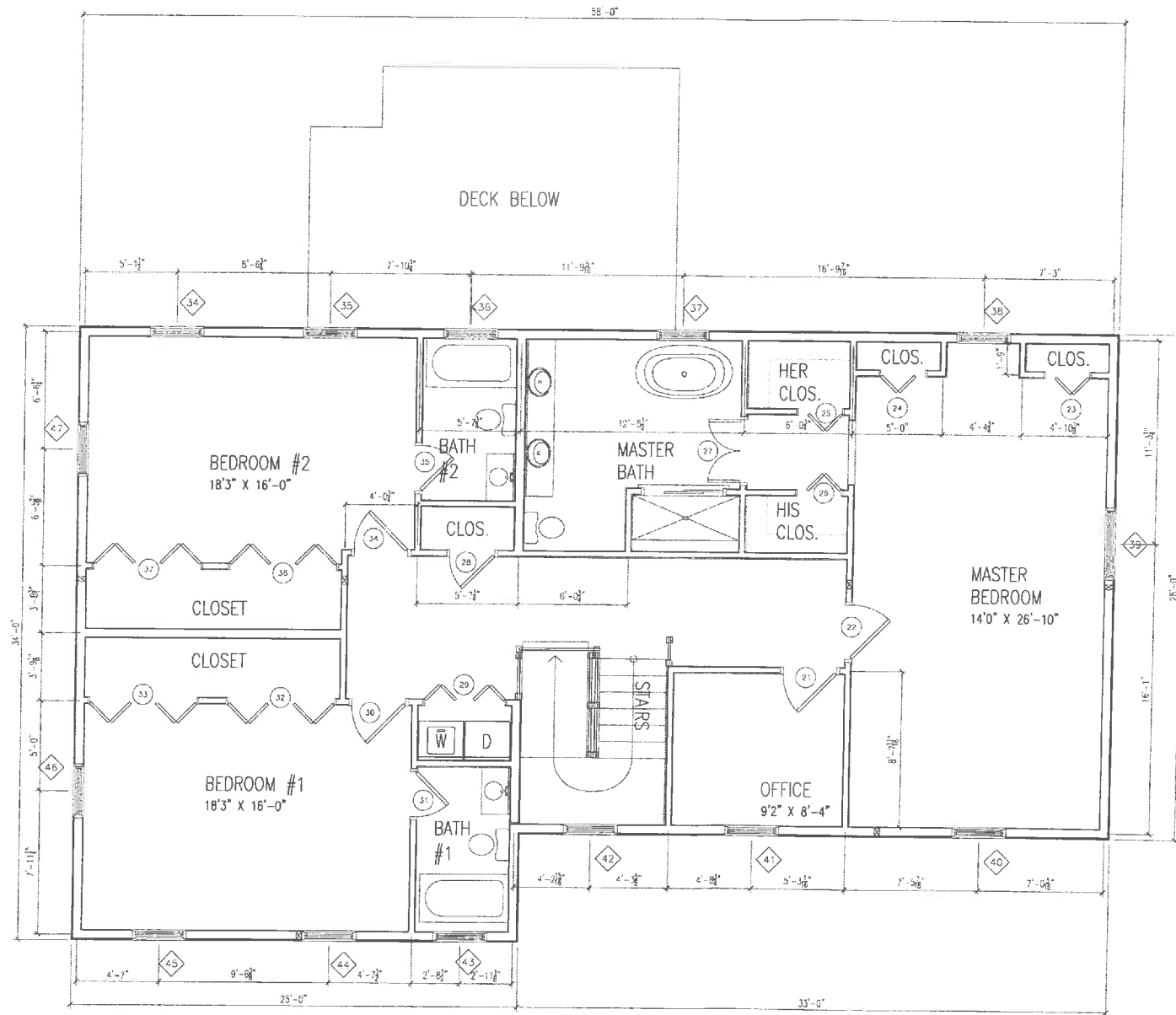
FLOOR PLANS  
FIRST FLOOR

A1.1

JASON JARVIS  
LOWELL, MA

RENOVATIONS TO EXISTING RESIDENCE

81 BIRCH HILL ROAD  
BELMONT, MA 02478



SCALE 1/4" = 1'-0"

FLOOR PLANS  
SECOND FLOOR

A1.2

DATE: 3 09 5

NO.	DATE	DESCRIPTION

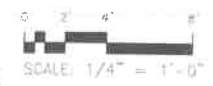
SHEET TITLE  
**EXTERIOR ELEVATIONS**



**SOUTH EXTERIOR ELEVATION**

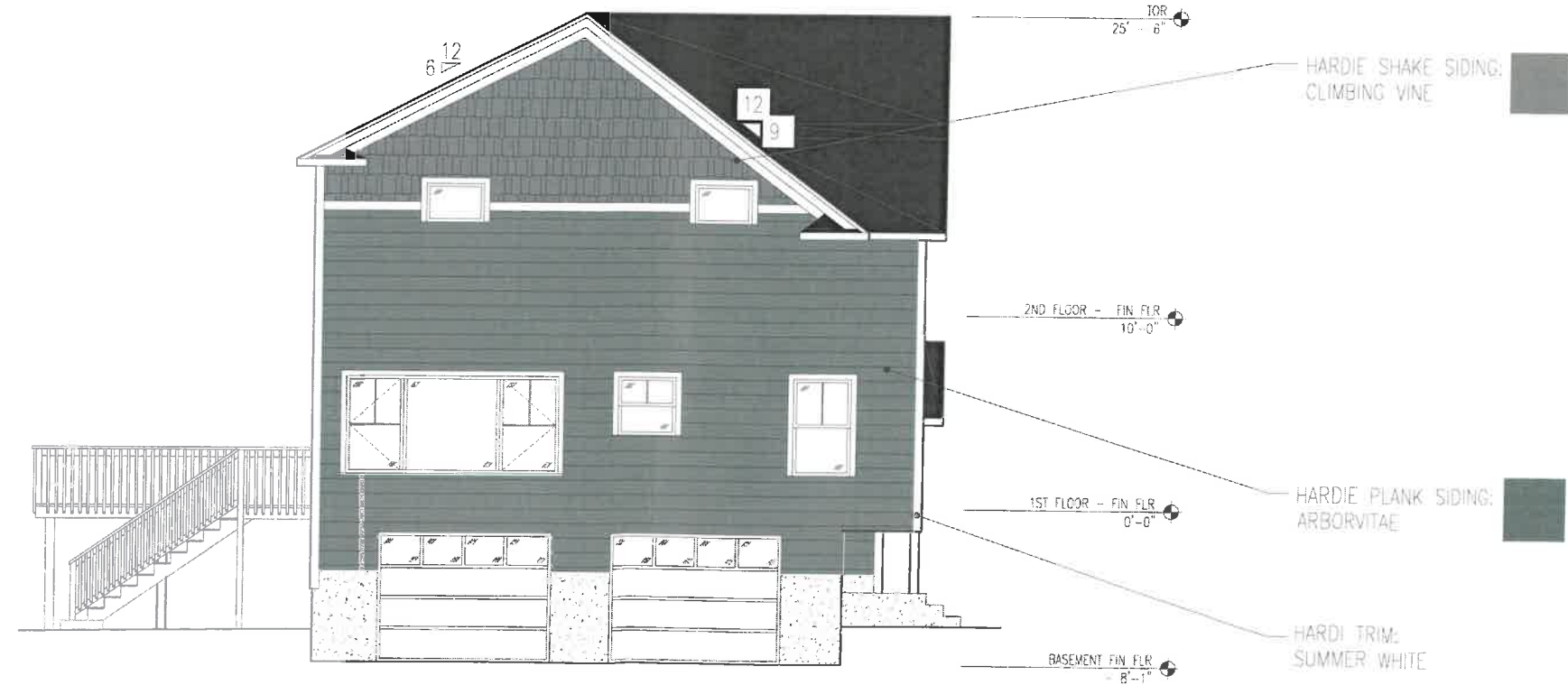


**NORTH EXTERIOR ELEVATION**





EAST EXTERIOR ELEVATION



WEST EXTERIOR ELEVATION

RENOVATIONS TO EXISTING RESIDENCE  
81 BIRCH HILL ROAD  
BELMONT, MA 02478

REV.	DATE	DESCRIPTION

EXTERIOR ELEVATIONS



JASON JARVIS  
LOWELL, MA



RENOVATIONS TO EXISTING RESIDENCE  
81 BIRCH HILL ROAD  
BELMONT, MA 02475

GENERAL NOTES

- G1. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. IN CASE OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED AND SHALL RESOLVE THE CONFLICT.
- G2. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
- G3. THE STRUCTURAL DESIGN OF THE BUILDING IS BASED ON THE FULL INTERACTION OF ALL ITS COMPONENT PARTS. NO PROVISIONS HAVE BEEN MADE FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAKE PROPER AND ADEQUATE PROVISIONS FOR STABILITY OF THE STRUCTURE DUE TO ANY CAUSE DURING CONSTRUCTION.
- G4. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL REQUEST ALL DIMENSIONS OR INFORMATION REQUIRED TO PERFORM THE WORK FROM THE ARCHITECT.

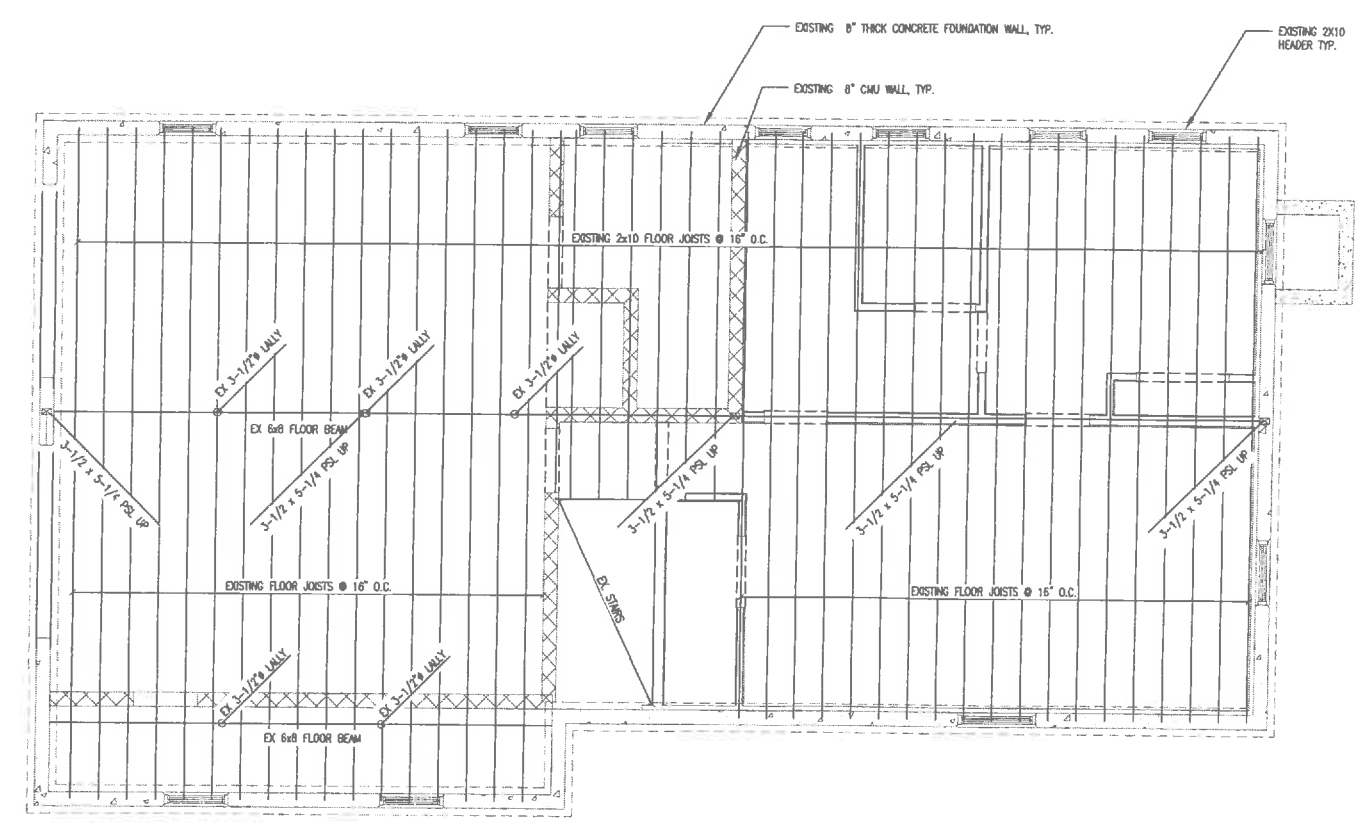
STRUCTURAL DESIGN CRITERIA

1. CODES: MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION
2. DESIGN LOADS:
 

A. LIVE LOADS	
L. LIVING AREAS	40 PSF
S. SLEEPING AREAS	30 PSF
P. PORCHES	60 PSF
B. SNOW LOAD	
I. GROUND SNOW LOAD	40 PSF
II. FLAT ROOF SNOW LOAD	30 PSF
III. SNOW DRIFT LOADS	PER CODE
C. WIND LOAD	
I. BASIC WIND SPEED	127 MPH
II. RISK CATEGORY	II
III. WIND EXPOSURE	EXPOSURE B
3. FOUNDATION CONDITIONS USED FOR FOUNDATION DESIGN INCLUDE AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF PER TABLE 1805.2a FOR "PRESUMPTIVE ALLOWABLE VERTICAL BEARING PRESSURES" FOR LOOSE FINE SAND, SILTY FINE SAND OR NON-PLASTIC INORGANIC SILT; WATER TABLE WILL BE BELOW THE FINISHED FIRST FLOOR LEVEL, FROST DEPTH OF 4FT

WOOD NOTES

- W1. FRAMING LUMBER SHALL BE MARKED S-DRY. ALL MATERIALS SHALL BE CHECKED BEFORE USE. WITH ALL CHECKED, SPLIT AND OTHERWISE DEFECTIVE STOCK REJECTED, OR USED ONLY FOR MISCELLANEOUS BLOCKING, FURRING OR OTHER INCIDENTAL USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL MEMBERS WHICH, DUE TO WARPAGE, TWIST, SPLITTING, OR CHECKING, RESULT IN UNSATISFACTORY WORK. SUCH REPLACEMENT SHALL BE REQUIRED AT ANY TIME, WHETHER BEFORE OR AFTER APPLICATION OF FINISH MATERIAL.
- W2. UNLESS NOTED OTHERWISE, FRAMING LUMBER FOR JOISTS, BEAMS, AND POSTS SHALL BE SURFACE DRY SPRUCE-PINE-FIR NUMBER 2 OR EQUIVALENT AND SHALL HAVE A MINIMUM BENDING STRESS  $F_b$  NOT LESS THAN 675 PSI FOR SINGLE MEMBER USE.
- W3. FRAMING LUMBER FOR STUDS SHALL BE SURFACE DRY SPRUCE-PINE-FIR NUMBER 2 OR EQUIVALENT WITH A MINIMUM COMPRESSIVE STRESS  $F_c$  NOT LESS THAN 1,150 PSI SINGLE MEMBER USE.
- W4. ROOF SHEATHING SHALL BE 19/32" THICK APA-RATED CDX GRADE STRUCTURAL 1. USE 10d COMMON NAILS, 1-1/2" MIN. EMBED., @ 4" O.C. EDGE OF ROOF AND 6" O.C. AT ALL OTHER PANEL EDGES.
- W5. EXTERIOR WALL SHEATHING SHALL BE 15/32" THICK APA-RATED CDX GRADE STRUCTURAL 1. USE 8d COMMON NAILS, 1-1/2" MIN. EMBED., @ 6" O.C. AT SUPPORTING EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS.
- W6. ALL WOOD EXPOSED TO WEATHER, ALL WOOD BLOCKING ON ROOFS, INCLUDING NAILERS, BLOCKING AND CURBS, AND THAT WHICH WILL BE CONCEALED BY ROOFING OR FLASHING WORK, OR WOOD IN CONTACT WITH CONCRETE OR MASONRY OR WITHIN 12" OF ADJACENT GRADE, SHALL BE PRESURE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVATION INSTITUTE.
- W7. FABRICATED HARDWARE SHALL BE SELECTED FOR SIZE OF MEMBERS JOINED OR SUPPORTED AND TO DEVELOP THE FULL STRENGTH OF THE MEMBERS, AS DIRECTED BY THE ENGINEER. IN EXTERIOR AREAS OR WHERE IN CONTACT WITH CONCRETE OR MASONRY HARDWARE SHALL BE HOT-DIPPED GALVANIZED. IN OTHER AREAS ELECTROGALVANIZING WILL BE ACCEPTABLE.
- W8. WOOD STUD NAILS SHALL HAVE HORIZONTAL BLOCKING BETWEEN STUDS SPACED VERTICALLY AT 8'-0" MAX.
- W9. 2X10 AND 2X12 JOISTS WITH SPANS EXCEEDING 12'-0" SHALL HAVE SOLID BLOCKING OR BRIDGING BETWEEN JOISTS AT 8'-0" O.C. MAX.
- W10. GRADE DESIGNATION FOR ENGINEERED WOOD LUMBER TO BE USED IN THE PROJECT SHALL BE PROVIDED BY MICROLAM LVL ( $F_b=2,600$  PSI) OR APPROVED EQUAL.
- W11. GRADE DESIGNATION FOR WOOD POST SHALL BE PROVIDED BY PARALAM PSL ( $F_c$  PARALLEL TO GRAIN = 2,500 PSI) OR APPROVED EQUAL.
- W12. FOR FASTENING NOT SPECIFIED IN THE FRAMING, FOLLOW THE PRESCRIPTIVE REQUIREMENTS OUTLINED IN IBC 2009, TABLE 2304.9.1.
- W13. FLOOR SHEATHING SHALL BE 1/2" THICK AND GROOVE AND GROOVE APA RATED 5-PLY 3/4" PLYWOOD (MIN. APA RATED 48/24 SPAN RATING) PROVIDE A-C GRADE PLYWOOD AT ALL DECK SHEATHING LOCATIONS.



NOTE:  
ALIGN POSTS WITH LALLY COLUMNS IN BASEMENT



DATE	DESCRIPTION
PROJECT NO.	2016-010
DRAWING FILE	81 BR-2 DWG
DRAWN BY	JJ
CHECKED BY	
DATE	
SHEET TITLE	
EXISTING FIRST FLOOR FLOOR FRAMING PLAN	
A3.0	
SHEET	1 OF 5

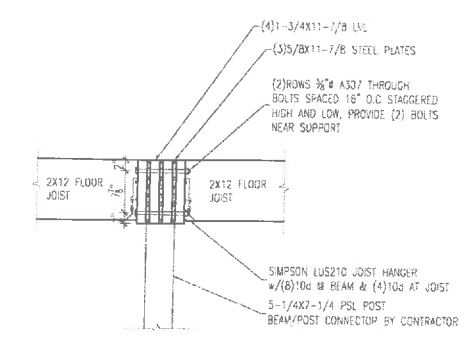
JASON JARVIS  
LOWELL, MA



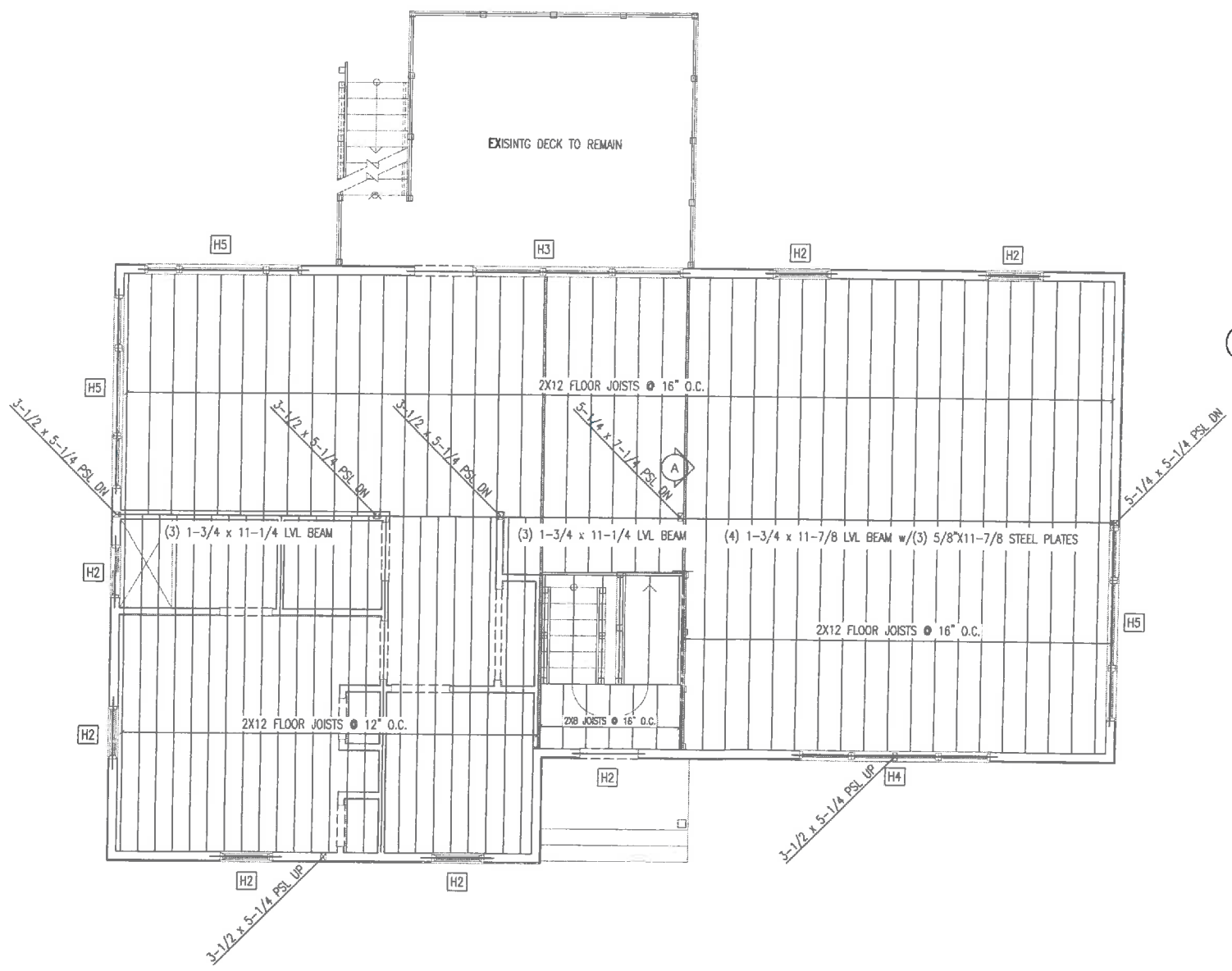
RENOVATIONS TO EXISTING RESIDENCE

81 BIRCH HILL ROAD  
BELMONT, MA 02478

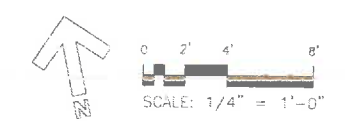
HEADER SCHEDULE	
H1	(2) 2X8 HEADER w/(2) JACKS & (1) KING STUD
H2	(3) 2X8 HEADER w/(2) JACKS & (1) KING STUD
H3	(3) 1-3/4 X 14 LVL HEADER w/(3) JACKS & (1) KING STUD
H4	(2) 1-3/4 X 11-1/4 LVL HEADER w/(3) JACKS & (1) KING STUD
H5	(2) 2X12 HEADER w/(3) JACKS & (1) KING STUD



**A** FLITCH BEAM DETAIL  
SCALE: 3/4" = 1'-0"



NOTE:  
ALIGN POSTS WITH LALLY COLUMNS IN BASEMENT



NO.	DATE	DESCRIPTION

SHEET TITLE  
**FLOOR FRAMING  
SECOND FLOOR**

SHEET NO. **A3.1**

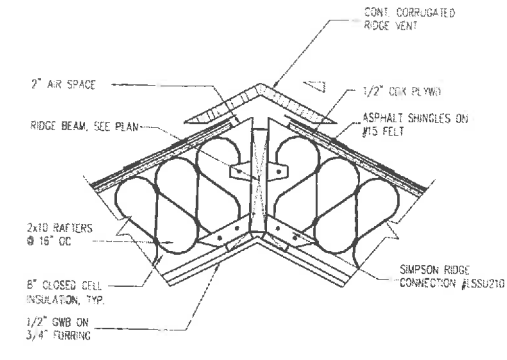
JASON JARVIS  
LOWELL, MA



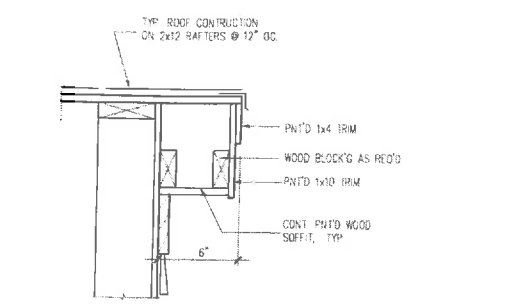
RENOVATIONS TO EXISTING RESIDENCE  
81 BIRCH HILL ROAD  
BELMONT, MA 02478

HEADER SCHEDULE

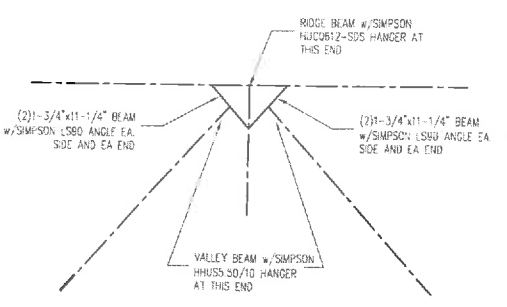
H1	-(2) 2X8 HEADER w/(2) JACKS & (1) KING STUD
H2	-(3) 2X8 HEADER w/(2) JACKS & (1) KING STUD



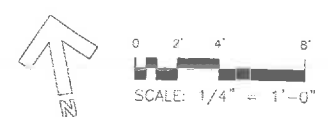
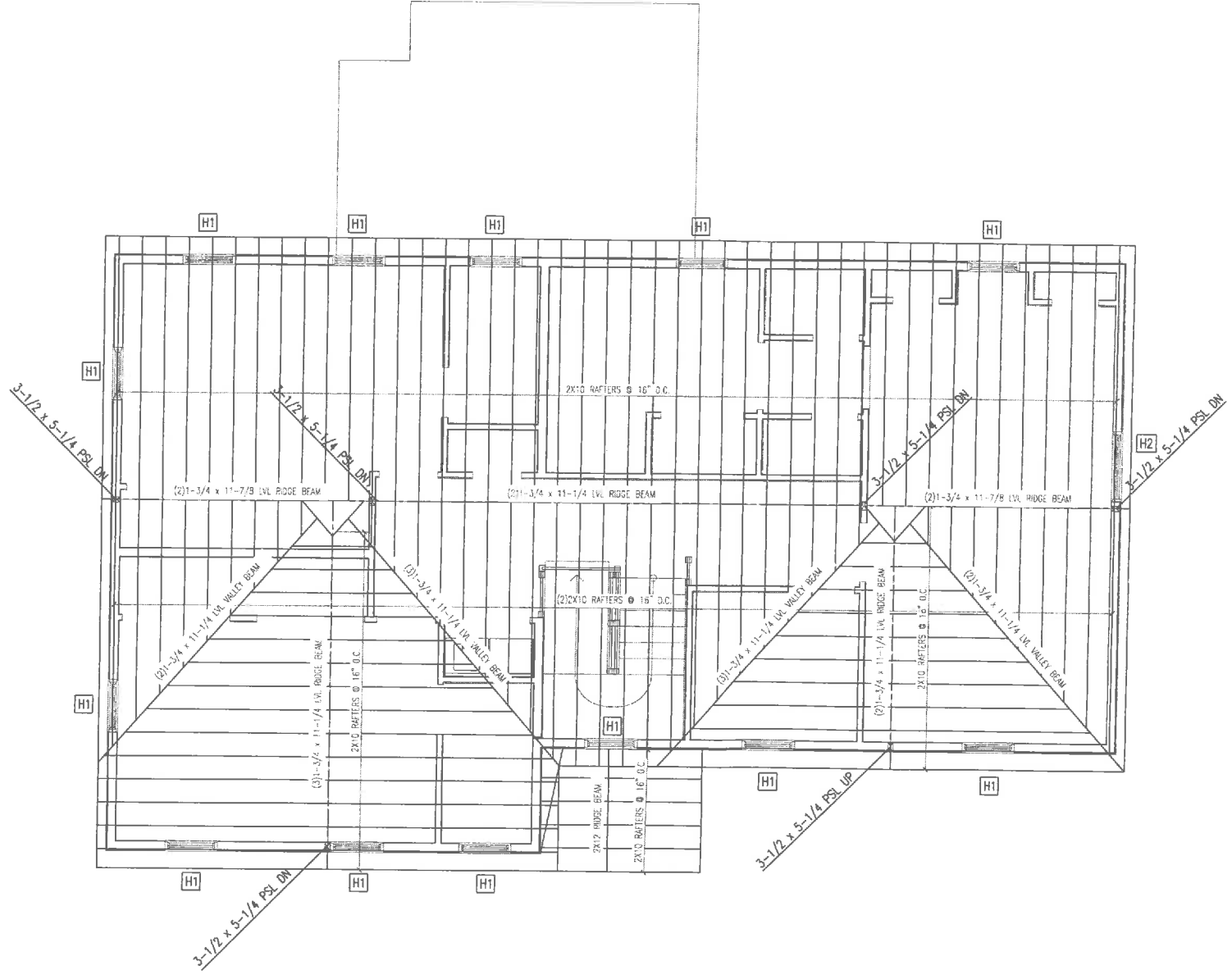
1 DET @ STRUCTURAL RIDGE BEAM  
SCALE: 1 1/2" = 1'-0"



2 RAKE AND TRIM BOARD DETAIL  
SCALE: 1 1/2" = 1'-0"



3 TYPICAL RIDGE CONNECTION DETAIL  
SCALE: 1 1/2" = 1'-0"



NO.	DATE	DESCRIPTION

PROJECT NO: 2108-1011  
 DATE: 01-20-2010  
 DRAWN BY: JJI  
 CHECKED BY: JJI  
 CONTRACTOR: JARVIS DRAFTING & DESIGN

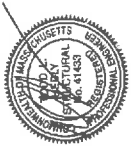
SHEET TITLE: ROOF FRAMING PLAN

A3.2

SHEET 3 OF 5

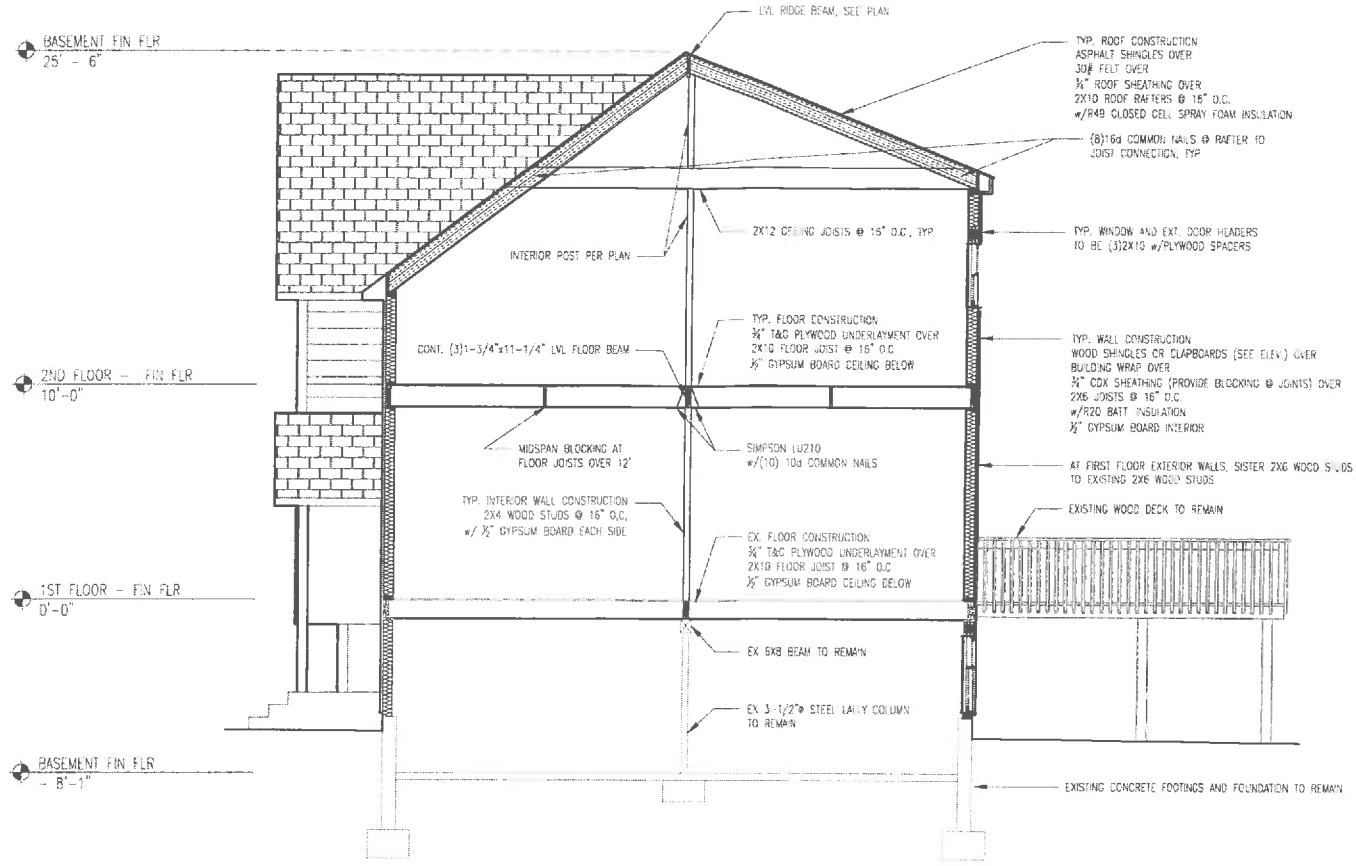


JASON JARVIS  
LOWELL, MA

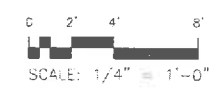


RENOVATIONS TO EXISTING RESIDENCE

81 BIRCH HILL ROAD  
BELMONT, MA 02478



BUILDING CROSS SECTION



WINDOW SCHEDULE					
MARK	SIZE		TYPE	MATERIAL	NOTES
	Width	HEIGHT			
1	2'-8"	3'-8"	DH	WD CLAD	---
2	2'-9"	3'-8"	DH	WD CLAD	---
3	2'-8"	3'-6"	DH	WD CLAD	---
4	2'-8"	3'-8"	DH	WD CLAD	---
5	2'-8"	3'-8"	DH	WD CLAD	---
6	2'-8"	3'-8"	DH	WD CLAD	---
7	2'-8"	3'-6"	DH	WD CLAD	---
8	3'-0"	5'-0"	DH	WD CLAD	---
9	3'-0"	5'-0"	DH	WD CLAD	---
10	3'-8"	3'-8"	DH	WD CLAD	---
11	3'-0"	5'-0"	DH	WD CLAD	---
12	3'-0"	5'-0"	DH	WD CLAD	---
13	2'-0"	5'-0"	CASEMENT	WD CLAD	---
14	5'-0"	4'-8"	PICTURE	WD CLAD	MULL WITH 13 & 15
15	2'-0"	5'-0"	CASEMENT	WD CLAD	---
16	4'-0"	6'-0"	PICTURE	WD CLAD	---
17	4'-0"	6'-0"	PICTURE	WD CLAD	MULL WITH 16 & 18
18	4'-0"	6'-0"	PICTURE	WD CLAD	---
19	3'-4"	3'-0"	DH	WD CLAD	---
20	3'-4"	3'-0"	DH	WD CLAD	---
21	3'-0"	5'-0"	CASEMENT	WD CLAD	---
22	5'-0"	4'-8"	PICTURE	WD CLAD	MULL WITH 21 & 23
23	3'-0"	5'-0"	CASEMENT	WD CLAD	---
24	3'-0"	5'-0"	CASEMENT	WD CLAD	---
25	5'-0"	4'-8"	PICTURE	WD CLAD	MULL WITH 24 & 26
26	3'-0"	5'-0"	CASEMENT	WD CLAD	---
27	3'-0"	5'-0"	DH	WD CLAD	---
28	3'-0"	5'-0"	DH	WD CLAD	---
29	3'-0"	5'-0"	DH	WD CLAD	---
30	3'-0"	3'-0"	HS	WD CLAD	---
31	3'-0"	5'-0"	CASEMENT	WD CLAD	---
32	5'-0"	4'-8"	PICTURE	WD CLAD	MULL WITH 31 & 33
33	3'-0"	5'-0"	CASEMENT	WD CLAD	---
34	3'-0"	5'-0"	DH	WD CLAD	---
35	3'-0"	5'-0"	DH	WD CLAD	---
36	3'-0"	5'-0"	DH	WD CLAD	---
37	3'-0"	5'-0"	DH	WD CLAD	---
38	3'-0"	5'-0"	DH	WD CLAD	---
39	4'-0"	4'-0"	DH	WD CLAD	---
40	3'-0"	5'-0"	DH	WD CLAD	---
41	3'-0"	5'-0"	DH	WD CLAD	---
42	3'-0"	5'-0"	DH	WD CLAD	---
43	3'-0"	5'-0"	DH	WD CLAD	---
44	3'-0"	5'-0"	DH	WD CLAD	---
45	3'-0"	5'-0"	DH	WD CLAD	---
46	3'-0"	3'-0"	DH	WD CLAD	---
47	3'-0"	5'-0"	DH	WD CLAD	---

DOOR AND FRAME SCHEDULE																	
MARK	DOOR			FRAME										FIRE RATING LABEL	HARDWARE		NOTES
	SIZE			MATERIAL	GLAZING	LOUVER		DETAIL			SET NO	KEYSIDE RM NO					
	WD	HGT	THK			WD	HGT	MATL	EL	HEAD			JAMB		SILL		
1	2'-8"	6'-8"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
2	2'-8"	6'-8"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
3	3'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
4	2'-8"	6'-8"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
5	2'-8"	6'-8"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
7	2'-6"	6'-8"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
8	2'-8"	6'-8"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
9	3'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
10	9'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
11	9'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
12	3'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
13	3'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
14	5'-0"	6'-8"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
15	3'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
16	2'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
17	2'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
18	3'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
19	2'-8"	6'-8"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
20	3'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
21	3'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
22	3'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
23	2'-6"	6'-10"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
24	2'-6"	6'-10"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
25	2'-6"	6'-10"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
26	2'-6"	6'-10"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
27	3'-6"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
28	2'-6"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
29	4'-6"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
30	3'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
31	2'-6"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
32	6'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
33	6'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
34	3'-0"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
35	2'-6"	7'-0"	2"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
36	6'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	
37	6'-0"	7'-0"	1 3/4"	---	---	0	0"	---	---	---	---	---	---	---	---	---	

CROSS SECTION AND SCHEDULES