

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, April 5, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of Christopher Halloran to construct three dormers at 21-23 Cross Street located in General Residence (GR) Zoning district for Two Special Permits under §1.5 of the Zoning By-Law. Special Permits: 1.- §4.2 of the By-Law allows two and a half (2-1/2) story buildings, the existing structure is three and a half (3-1/2) stories, the lowest level of the dwelling is a basement (52.2% of the foundation walls are exposed) and is considered a story. The proposed dormers are at a third story. 2.- The existing and proposed side setback is 6.7'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 3/6/21

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 23 CROSS ST Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for the construction of three roof dormers

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

CHRIS HALLORAN

Address

23 CROSS STREET

BELMONT MA 02478

Daytime Telephone Number

617-777-6095



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

November 9, 2020

Christopher Halloran
21-23 Cross Street
Belmont, MA 02478

RE: Denial to Construct Three Dormers

Dear Mr. Halloran,


The Office of Community Development is in receipt of your building permit application for your proposal to construct three dormers at 21-23 Cross Street located in General Residence Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations allow a maximum of 2-1/2 stories and requires a minimum side setback of 10.0'.

1. The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (52.2% of the foundation walls are exposed) and is considered a story. The proposed dormers are at a three and a half (3-1/2) story level.
2. The existing and proposed side setback is 6.7'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.
Inspector of Buildings

January 6, 2021

Dear Members of the Board,

Thank you for taking the time to read our request to construct three dormers on the second floor of our condo at 23 Cross Street. My wife, Geneva, and I originally moved into our apartment as tenants ten years ago. We grew to love the neighborhood and had formed friendships with many of our neighbors, so when the landlord informed us that he was selling the house, we were devastated. However the more we discussed it, we realized that it may be possible for us to buy the house.

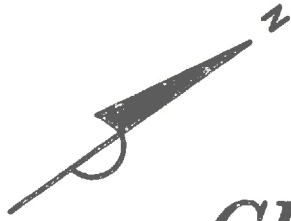
Almost five years ago, we became the new owners of our home. We were overjoyed and excited to know we could stay in a place we loved. My mother moved into the unit downstairs after selling my childhood home on Brettwood Road. We now live as a family in both units.

We are happy here and want to stay here as long as possible, but are now encountering the issue of insufficient living space. We have a six-year-old daughter, and a brand new son born this past November, and have found that we are quickly outgrowing our two-bedroom, one-bath unit. Our hope is convert our attic space into a second floor that would provide two additional bedrooms and a bathroom. Our intent is to stay put and have our kids grow up here, which we see as only being possible with a renovation. We respectfully request your approval so that we may secure our family's future in Belmont.

Best,

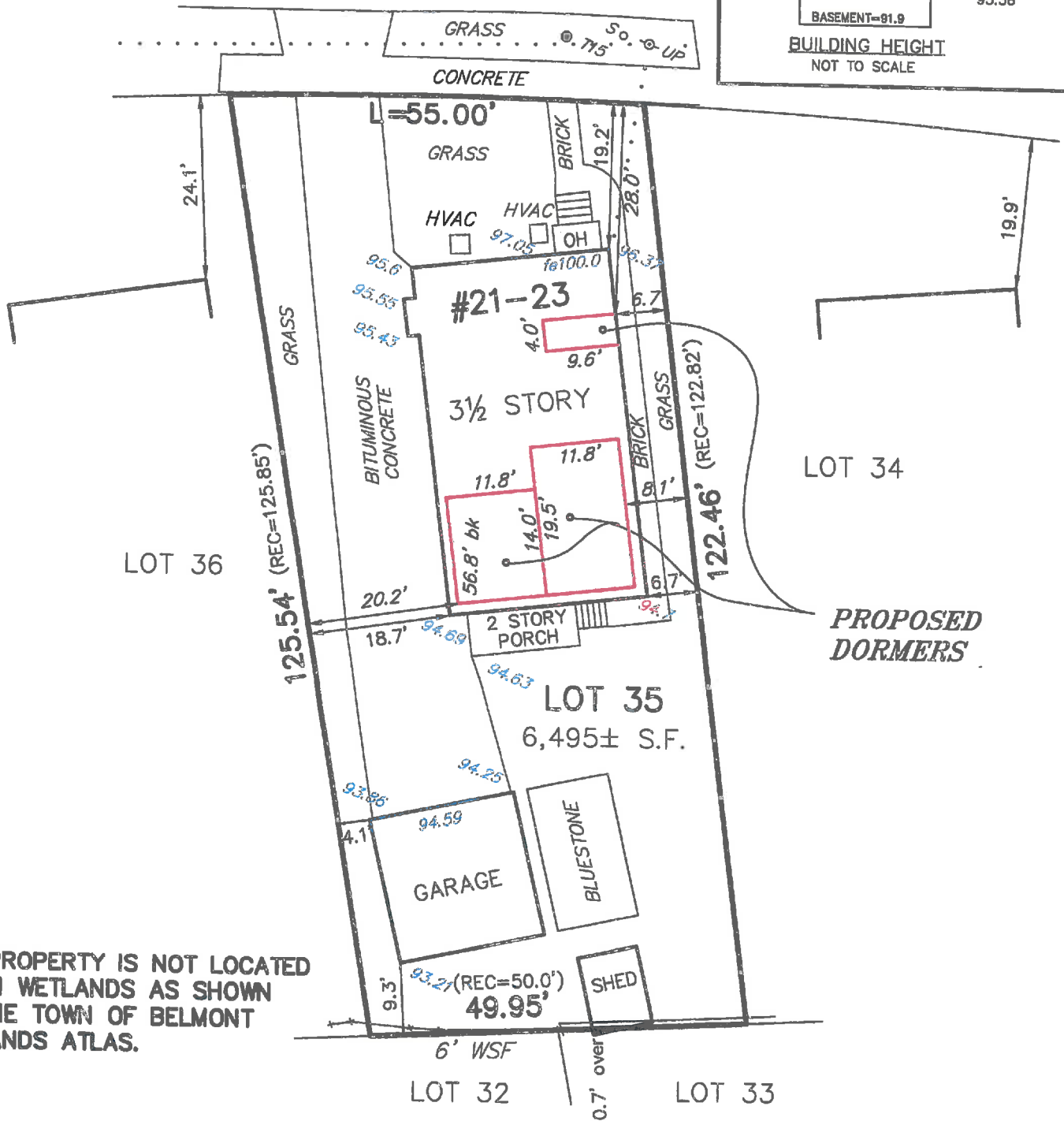
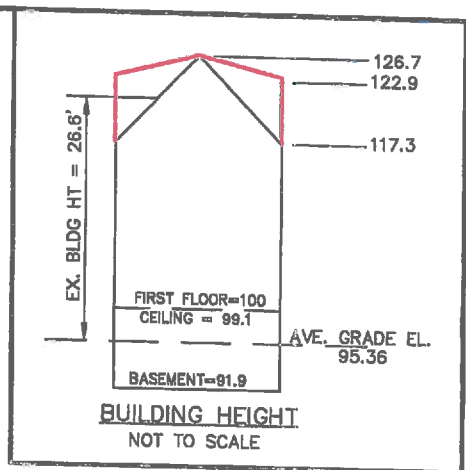
Chris and Geneva Halloran

23 Cross Street



47.8% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS A STORY

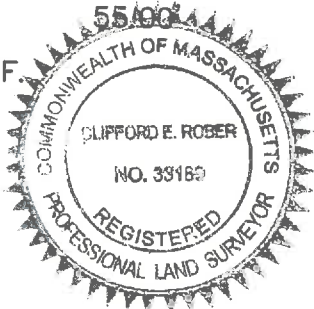
CROSS STREET



THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

ZONING DISTRICT:	GR (GENERAL RESIDENCE)	REQ.	EXISTING	PROP.
FRONT SETBACK:		22'	19.2'	28.0'
SIDE SETBACK:		10'	6.7'	6.7'
REAR SETBACK:		20'	49.8'	56.8'
MAXIMUM LOT COVERAGE:		30%	27.5%	-
MINIMUM OPEN SPACE:		40%	52.2%	-
LOT FRONTAGE:		55.00'		

TOTAL LOT AREA: 6,495± S.F.



CLIFFORD E. ROBER, PLS

DATE

PREPARED FOR: CHRISTOPHER HALLORAN
72325/26
ASSESSORS MAP 34 - PARCEL 71

PROPOSED PLOT PLAN #21-23 CROSS STREET IN BELMONT, MA (MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 9/23/2020




ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 5350PP1.DWG

Clifford E. Rober 9/23/2020

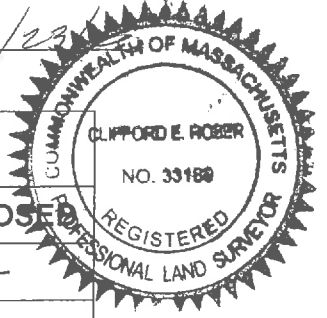
Zoning Compliance Check List

Properties Located within the GR Zoning Districts
(To be Completed by a Registered Land Surveyor)

Property Address: 21-23 Cross Street

Surveyor Signature and Stamp: 

Date: 8/23/14



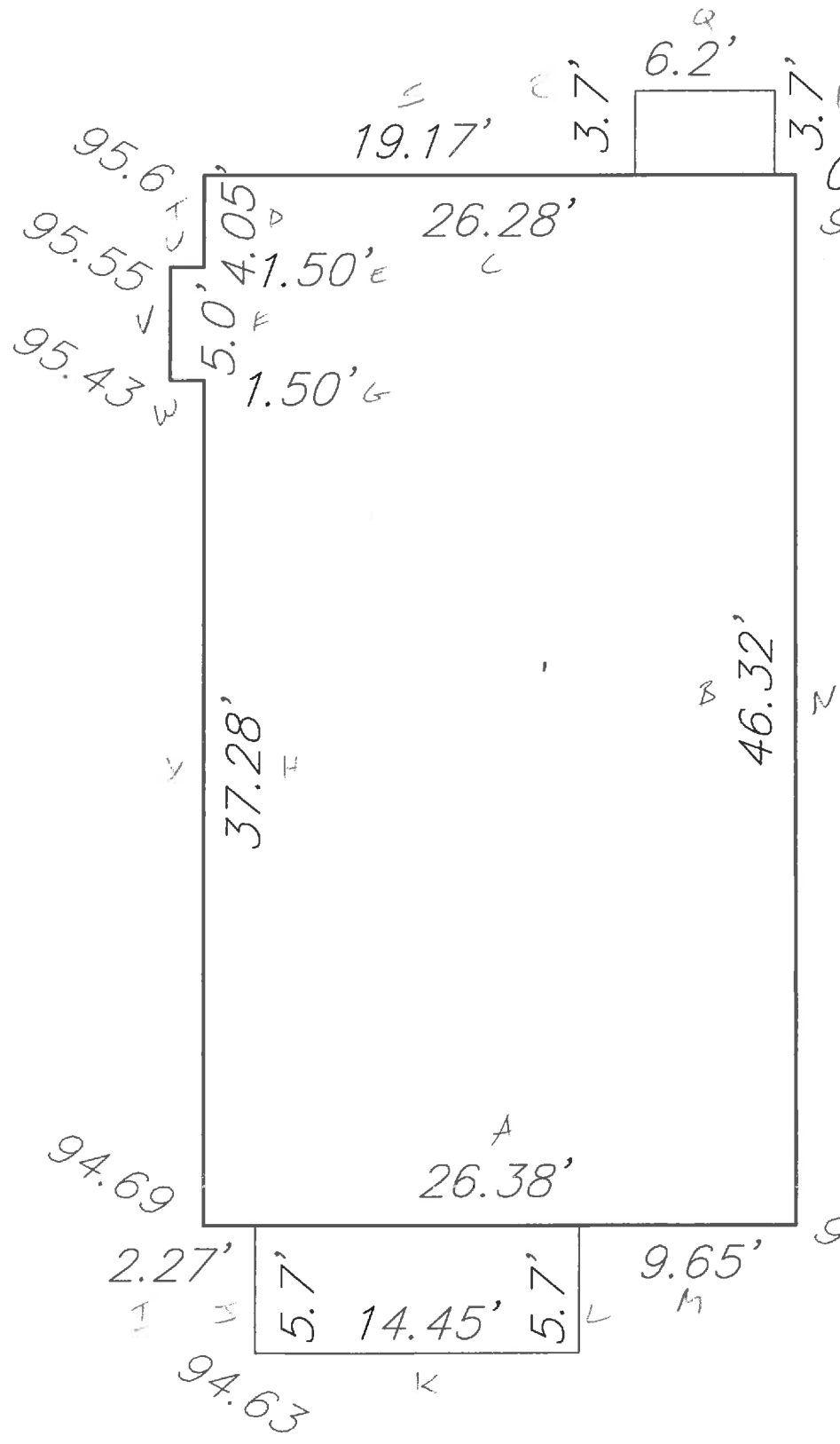
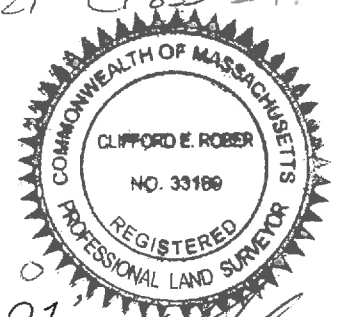
<u>Per §4.2 of the Zoning By-Laws</u>				
	REQUIRED	EXISTING	PROPOSED	
Lot Area (sq. ft.)	5,000	6,495	—	
Lot Frontage (feet)	50'	55'		
Lot Area/Unit (sq. ft./d.u.)				
Lot Coverage (% of lot)	30%	27.5%		
Open Space (% of lot)	40%	52.2%		
Setbacks: (feet)	➤ Front	22'	19.2'	
	➤ Front Door (25%)			
	➤ Side/Side	10' 10'	6.7' 18.7'	6.7' 20.2'
	➤ Rear	20'	49.8'	56.8'
Building Height:	➤ Feet	33'	26.5'	26.5'
	➤ Stories	2 1/2	3 1/2	3 1/2
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)			
	➤ Area (60%)			
	➤ Length (75%)			
<u>Per §6D of the Zoning By-Laws</u>				
HVAC:	Prohibited in Front Yard and Side and Rear Setbacks			
Front Doors:	Both Must Face Street			
	STANDARD	PROPOSED		
Curb Cut (One per 70' Frontage)				

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

75350

SL

21 Cross St.

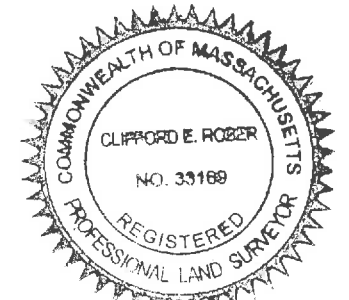


[Signature]
2/23/20

Segment	Ceiling Elevation	Elevation		Ceiling Length	Ceiling Height	Square Footage		% Covered
		From	To			Square Footage	Exposed Square Footage	
A	99.1	94.69	94.7	26.38	7.2	189.94	116.20	38.82%
B	99.1	94.7	96.37	46.32	7.2	333.50	165.13	50.49%
C	99.1	96.37	95.6	26.28	7.2	189.22	81.86	56.74%
D	99.1	95.6	95.55	4.05	7.2	29.16	14.28	51.04%
E	99.1	95.55	95.55	1.50	7.2	10.80	5.33	50.69%
F	99.1	95.55	95.43	5	7.2	36	18.05	49.86%
G	99.1	95.43	95.43	1.5	7.2	10.8	5.505	49.03%
H	99.1	95.43	94.69	37.28	7.2	268.416	150.6112	43.89%
	99.1			148.31	7.2	1067.83	556.96	47.84%

Ceiling Height:	7.2	<- enter
Basement Floor Elevation	91.9	<- enter
Ceiling Elevation	99.1	
Perimeter Total Length	148.31	
Total Perimeter Square Foot	1067.83	
Exposed Square Footage	556.96	
% Covered	47.84%	<- result

North	South	East	West
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
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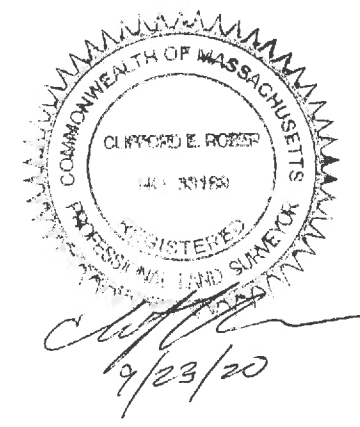


Clifford E. Robber
 9/23/20

Segment	Segment From Existing		Segment From New		Segment To		Segment		Difference
	Grade	Grade	Grade	Grade	New Grade	Length	Existing	Avg New	
I	94.69	94.69	94.69	94.69	94.69	2.27	214.9463	214.9463	0.00
J	94.69	94.69	94.69	94.63	94.63	5.7	539.562	539.562	0.00
K	94.63	94.63	94.63	94.7	94.7	14.45	1367.909	1367.909	0.00
L	94.7	94.7	94.7	94.7	94.7	5.7	539.79	539.79	0.00
M	94.7	94.7	94.7	94.7	94.7	9.65	913.855	913.855	0.00
N	94.7	94.7	94.7	96.37	96.37	46.32	4425.181	4425.181	0.00
O	96.37	96.37	96.37	96.37	96.37	0.91	87.6967	87.6967	0.00
P	96.37	96.37	96.37	96.37	96.37	3.7	356.569	356.569	0.00
Q	96.37	96.37	96.37	96.37	96.37	6.2	597.494	597.494	0.00
R	96.37	96.37	96.37	96.37	96.37	3.7	356.569	356.569	0.00
S	96.37	96.37	95.6	95.6	95.6	19.17	1840.032	1840.032	0.00
T	95.6	95.6	95.55	95.55	95.55	4.05	387.0788	387.0788	0.00
U	95.55	95.55	95.55	95.55	95.55	1.5	143.325	143.325	0.00
V	95.55	95.55	95.43	95.43	95.43	5	477.45	477.45	0.00
W	95.43	95.43	95.43	95.43	95.43	1.5	143.145	143.145	0
X	95.43	95.43	94.69	94.69	94.69	37.28	3543.837	3543.837	0
						167.1	15934.44	15934.44	0

Ceiling Height:	7.2
Basement Floor Elevation	91.9
Ceiling Elevation	99.1
Perimeter Total Length	167.10
Total Perimeter Square Foot	1203.12
Average Existing Grade	95.36
New Average Grade	95.36
Difference in Grade in feet	0.00

% Covered using Avg Grade 48.04%



Jeffrey W. Brown AIA, RIBA
Consulting Architect

50 Stoneleigh Circle
Watertown, MA 02472

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home: 617.923.0057

jeffreywbrown@comcast.net

Revised March 9, 2020 (Original Dated October 16, 2019)
Memorandum
Halloran Residence
23 Cross Street, Belmont, MA

No. 1903

Renovation – Useable Third Floor Space:
Review of Town of Belmont Zoning By-Law

Visit to Belmont Community Development office September 24, 2019 & March 6, 2020

Received copy of Town of Belmont Zoning By-Law, SECTION 1. GENERAL
Paragraph 1.4 Definitions and Abbreviations

Story, Half- A space under a sloping roof where:

a) the line of intersection of the rafter bottoms and the interior wall surface is not more than three feet above floor level on at least half the perimeter of the second floor,

Second Floor Perimeter: $(46.5' + 26.5') \times 2 = 146 \text{ LF}$. Half is 73 LF

West side:	13.75 LF
East side:	19 LF
North gable:	16 LF
South gable:	18 LF
Small Dormer:	5 LF
Total:	71.75 LF

LF OK (Less than 73 LF)

b) the potential space having headroom of five feet or more is not more than 60% as large as the second floor,

Second Floor Area: $1,132 \text{ SF} \times .60 = 679.2 \text{ SF}$

New Area with 5' headroom not in new rooms:	290 SF
New Rooms with more than 5' headroom:	376.5 SF
Total:	666.5 SF AREA OK

Total existing floor area at 6'-0": $45'-2" \times 7'-4" = 330 \text{ SF}$

The two proposed new bedrooms on this floor are each 157 SF, for a total of 314 SF, below the 500 SF limit.

c) provided that the length of any dormer does not exceed 75% of the length of the roofline of the side of the structure where the dormer is constructed and

Roof Line is 46.3 LF

New Area Roof Line is 21 LF

DORMER LENGTH: OK

d) for purposes of this calculation: When the height of the second floor is indeterminate, the height of the second floor (from finished floor to finished ceiling) shall be equal to 12 feet, the remaining portion of the wall shall be factored into the half-story calculation.

NOT APPLICABLE

HALLORAN RESIDENCE
23 Cross Street, Belmont, MA

No. 1903

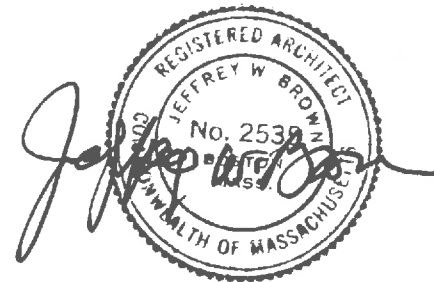
RENOVATION: USEABLE THIRD FLOOR SPACE:
Dormers / Roof Windows, Skylights

DRAWING LIST:

- A-0 DRAWING LIST & SCOPE OF WORK
- A-1 SITE LOCATION PLAN
- A-2 PLANS OF ALL FLOORS
- A-3 THIRD FLOOR PLAN
- A-4 BUILDING SECTION – FLOOR 3 FRONT
- A-5 BUILDING SECTION – FLOOR 3 REAR
- A-6 PARTIAL PLANS - FLOORS 2 & 3
- A-7 BUILDING DETAILS

LEGEND:

- 11. ROOM NUMBER
- 1 DOOR NUMBER
- TO BE DEMOLISHED
- NEW WALLS
- A NEW WINDOW
- ⊕ DOUBLE DUPLEX ELECTRICAL OUTLET
- ⊖ GFI GROUND FAULT INTERCEPTER
- \$ SWITCH
- ⊕ DETAIL NUMBER / DRAW. NO.
- 2' X 2' RECESSED LIGHT FIXTURE
- ⊕ DOWN-LIGHT / ⊗ CEILING FIXTURE
- F/S FURNISHINGS: FILES / SHELVING



DRAWING LIST & SCOPE OF WORK

Phase: _____ Floor: _____
Scale: _____ Date: June 15, 2020

Jeffrey W. Brown AIA, RIBA
Consulting Architect
office: 617.744.1668
home: 617.923.0057
jeffreywbrown@comcast.net

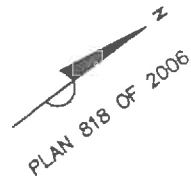
50 Stoneleigh Circle, Watertown, MA 02472

HALLORAN RESIDENCE
Third Floor - Renovation
23 Cross Street, Belmont, MA

A0

CROSS STREET

(PUBLIC - 60' WIDE)
BITUMINOUS CONCRETE



REFERENCES

MIDDLESEX COUNTY REGISTRY OF DEEDS
DEED BOOK 67348 PLAN 306 (LOCUS DEED)
PLAN BOOK 378 PLAN 48 (LOCUS PLAN)
PLAN 81B OF 2006

LEGEND

BK CLEAR OF PROPERTY LINE
EUA EXCLUSIVE USE AREA
HVAC AIR CONDITIONING UNIT
OH OVER-HANG
S SIGN
T14 14" TREE
UP UTILITY POLE
WSF WOOD STORAGE FENCE
OHW OVER-HEAD WIRE

LOT 36
N/F
MARY JOHNSON &
VALERIE RYNNÉ
60308/445

LOT 34
N/F
DOMINIC & MARY COLORITO
10883/350

LOT 35
6,495± S.F.

LOT 32
N/F
JOHN & MARILYN PAPAIZAN
10006/332

LOT 33
N/F
JOSEPH CRINE, JR. &
LINDA CRINE
17395/485

I HEREBY CERTIFY THAT:

- 1) THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND I FURTHER CERTIFY THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. CHAPTER 38C, ACTS OF 1966.
- 2) THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- 3) THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE BUILDING AT #21-23 CROSS STREET, BELMONT, MA, AS-BUILT AND FULLY LISTS THE UNITS CONTAINED THERE-IN.

CLIFFORD E. ROBER, PLS NO. 33189 DATE

OWNER NAME: CHRISTOPHER & GENEVA HALLORAN
ADDRESS: 21 CROSS STREET, BELMONT MA

21-23 CROSS STREET CONDOMINIUM

MASTER DEED PLAN

IN
BELMONT, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 10' DATE: OCTOBER 18, 2017



ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
RSURVEY@AOL.COM
5350MD1.DWG

NOTE: BUILDING HAS NO NAME
SHEET 1 OF 2

Drawing: SITE LOCATION PLAN

Phase: Floor: June 15, 2020

Jeffrey W. Brown AIA, RIBA
Consulting Architect

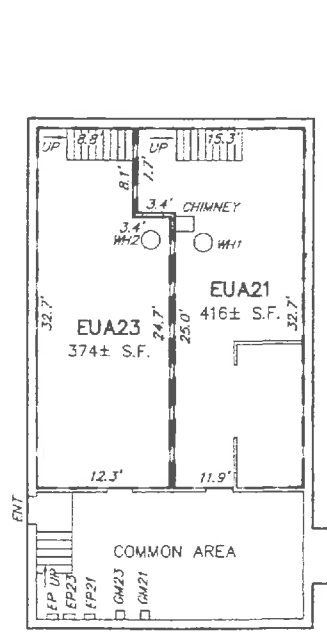
office: 617.744.1668
home: 617.923.0057

50 Stoneleigh Circle, Watertown, MA 02472

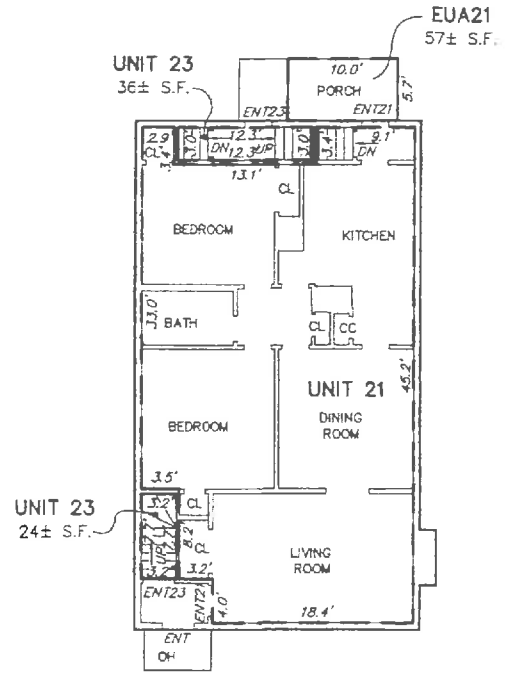
jeffreybrownr@aol.com

HALLORAN RESIDENCE
Third Floor - Renovation
23 Cross Street, Belmont, MA

A1

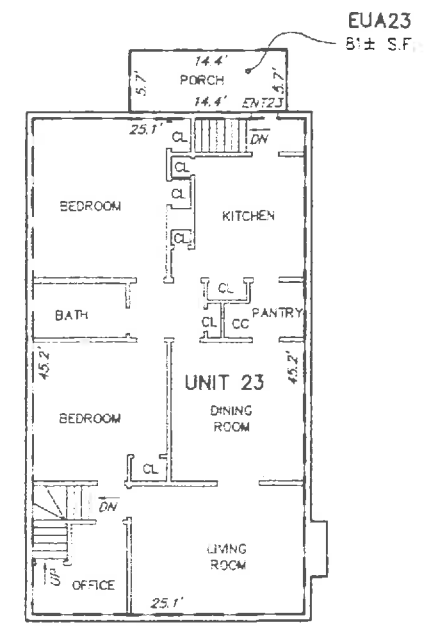


BASEMENT

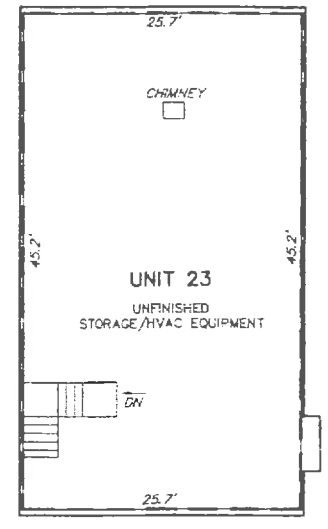


FIRST FLOOR #21
1,033± S.F.

FIRST FLOOR #23
60± S.F.



SECOND FLOOR #23
1,132± S.F.



THIRD FLOOR #23
1,160± S.F.

LEGEND

- CC CHINA CABINET
- CL CLOSET
- DN DOWN
- ENT ENTRANCE
- EUA EXCLUSIVE USE AREA
- GM GAS METER
- HVAC AIR CONDITIONER
- WH WATER HEATER

NOTE

BUILDING HAS NO NAME

I HEREBY CERTIFY THAT:

- 1) THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND I FURTHER CERTIFY THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. CHAPTER 380, ACTS OF 1966.
- 2) THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
- 3) THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBERS AND DIMENSIONS OF THE UNITS 21 & 23 AT 21-23 CROSS STREET CONDOMINIUM AT 21-23 CROSS STREET, BELMONT, MASSACHUSETTS, AS-BUILT.

CLIFFORD E. ROBER, PLS NO. 33189 DATE

TOTAL AREA

#21	1,033± S.F.
#23	2,352± S.F.

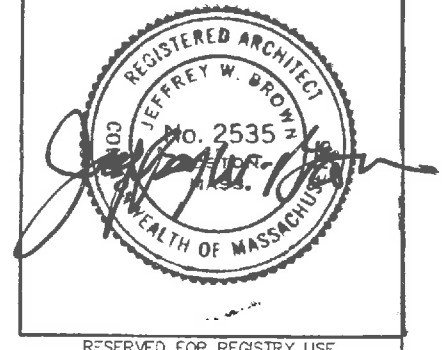
OWNER NAME: CHRISTOPHER & GENEVA HALLORAN
ADDRESS: 21-23 CROSS STREET, BELMONT, MA

21-23 CROSS STREET CONDOMINIUM

FLOOR PLANS
IN
BELMONT, MA
(MIDDLESEX COUNTY)
SCALE: 1" = 10' DATE: OCTOBER 18, 2017



ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
RSURVEY@AOL.COM
5350M01.DWG



RESERVED FOR REGISTRY USE

Drawing: **PLANS OF ALL FLOORS**

Phase: — Floor: —

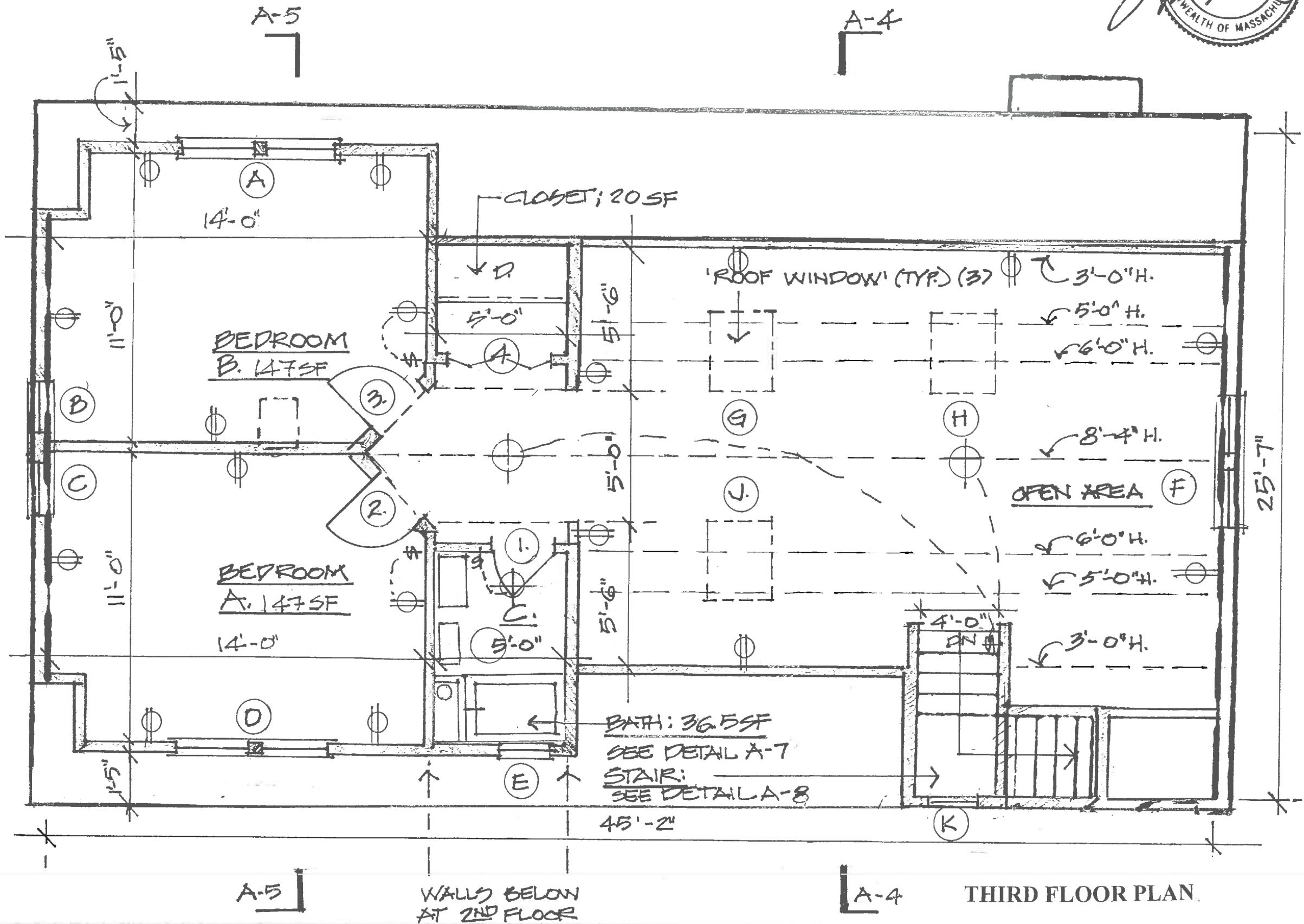
Scale: — Date: **June 15, 2020**

Jeffrey W. Brown AIA, RIBA
Consulting Architect

office: 617.744.1668
home: 617.923.0057
jeffreywbrown@comcast.net
50 Standleigh Circle, Watertown, MA 02472

HALLORAN RESIDENCE
Third Floor - Renovation
23 Cross Street, Belmont, MA

A2



Drawing: **THIRD FLOOR PLAN**

Phase: **1/4" = 1'-0"** Floor: **3**

June 15, 2020

office: 617.744.1668
home: 617.923.0057

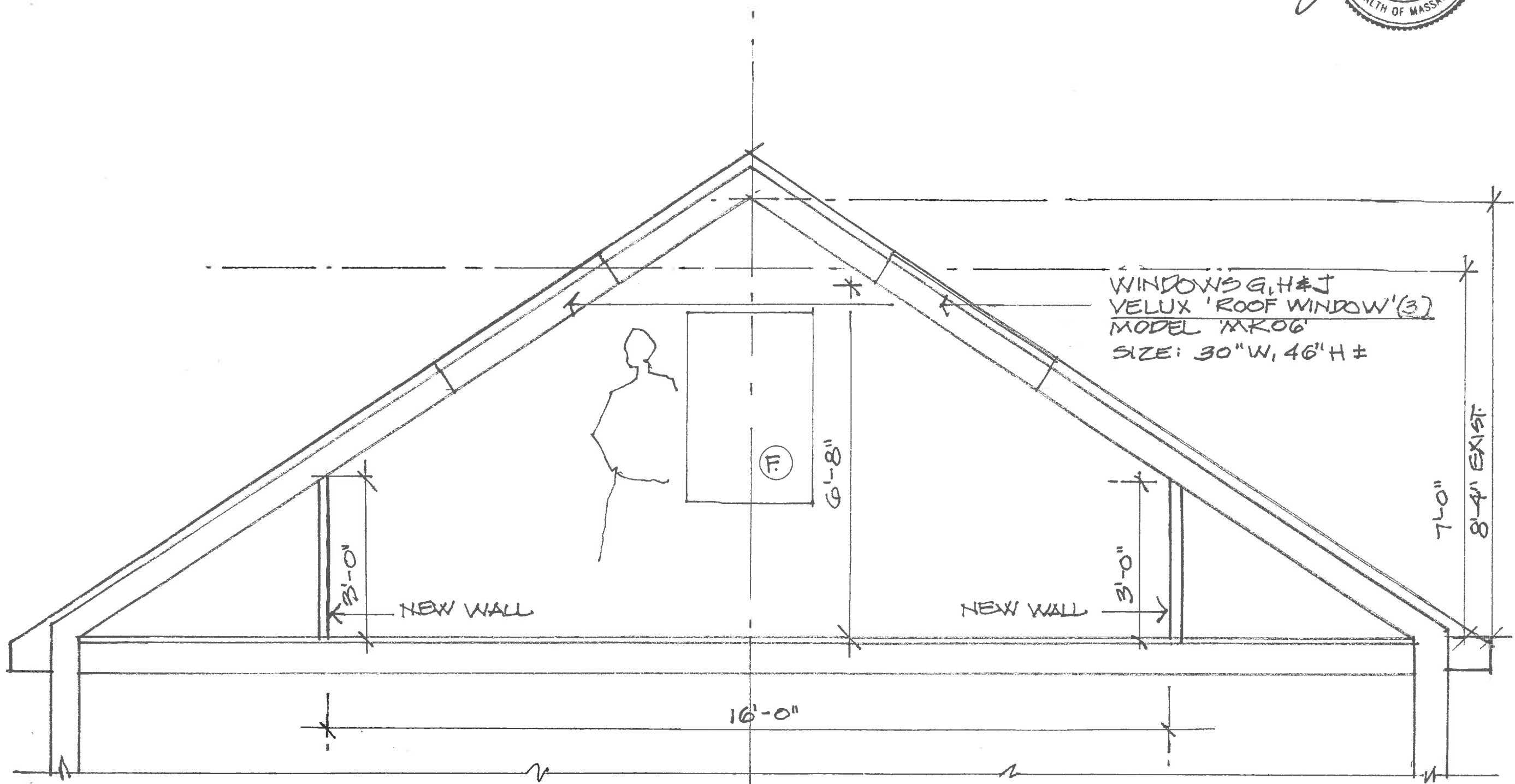
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50 Stoneligh Circle, Watertown, MA 02472
jeffreywbrown@comcast.net

HALLORAN RESIDENCE
Third Floor - Renovation
23 Cross Street, Belmont, MA

A3

THIRD FLOOR PLAN



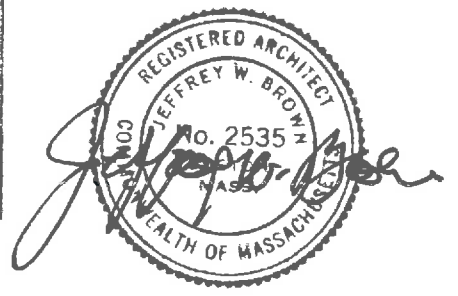
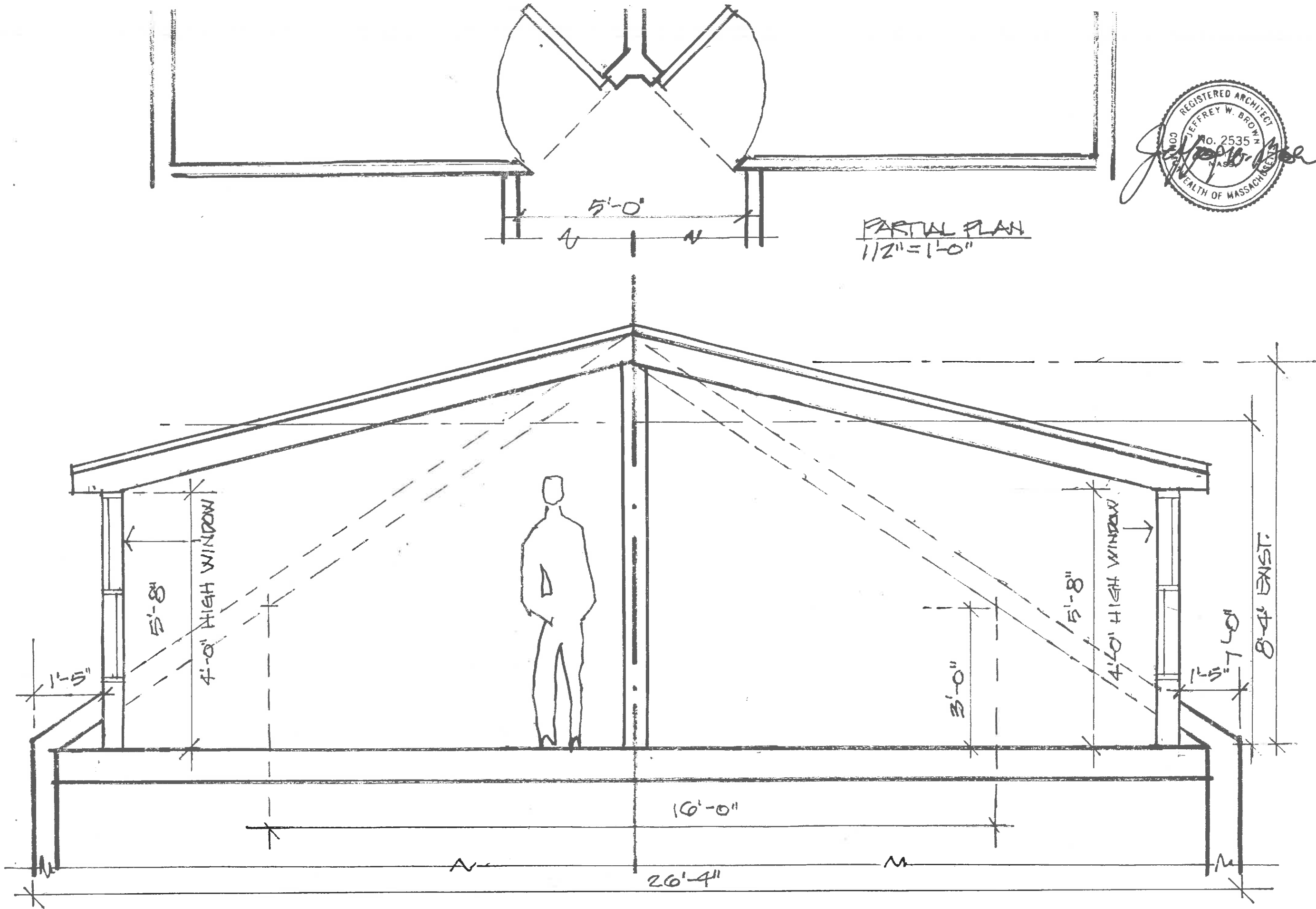
WINDOWS G, H & J
VELUX 'ROOF WINDOW' (3)
MODEL 'MK06'
SIZE: 30" W, 46" H ±

SECTION A-4 1/2" = 1'-0"
EXIST. CONDITIONS; NEW WINDOWS, WALLS

BUILDING SECTION - FLOOR 3 FRONT
Phase: _____ Floor: **3**
Scale: **1/2" = 1'-0"** Date: **June 15, 2020**
Jeffrey W. Brown AIA, RIBA
Consulting Architect
Office: 617.244.1668
Home: 617.923.0057
jeffreywbrown@comcast.net
50 Stordleigh Circle, Watertown, MA, 02172

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PARTIAL PLAN
1/2" = 1'-0"

BUILDING SECTION A-4
SCALE: 1/2" = 1'-0"

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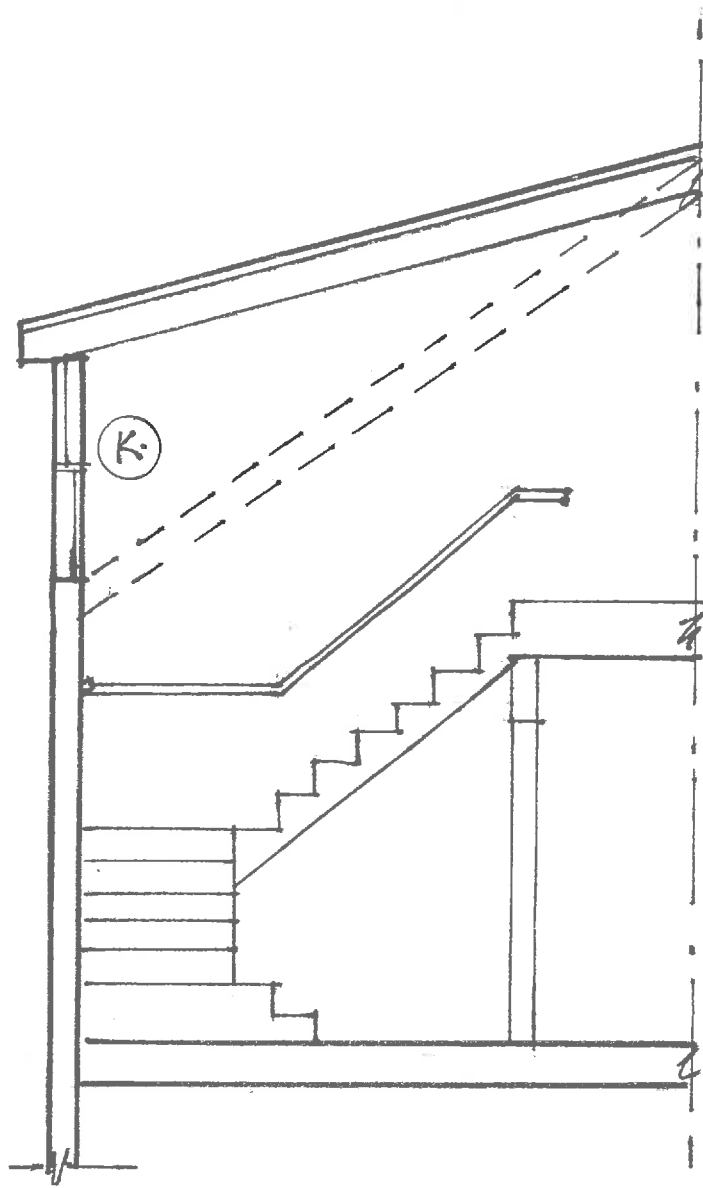
A5

BUILDING SECTION - FLOOR 3 REAR
Phase: _____ Floor: 3

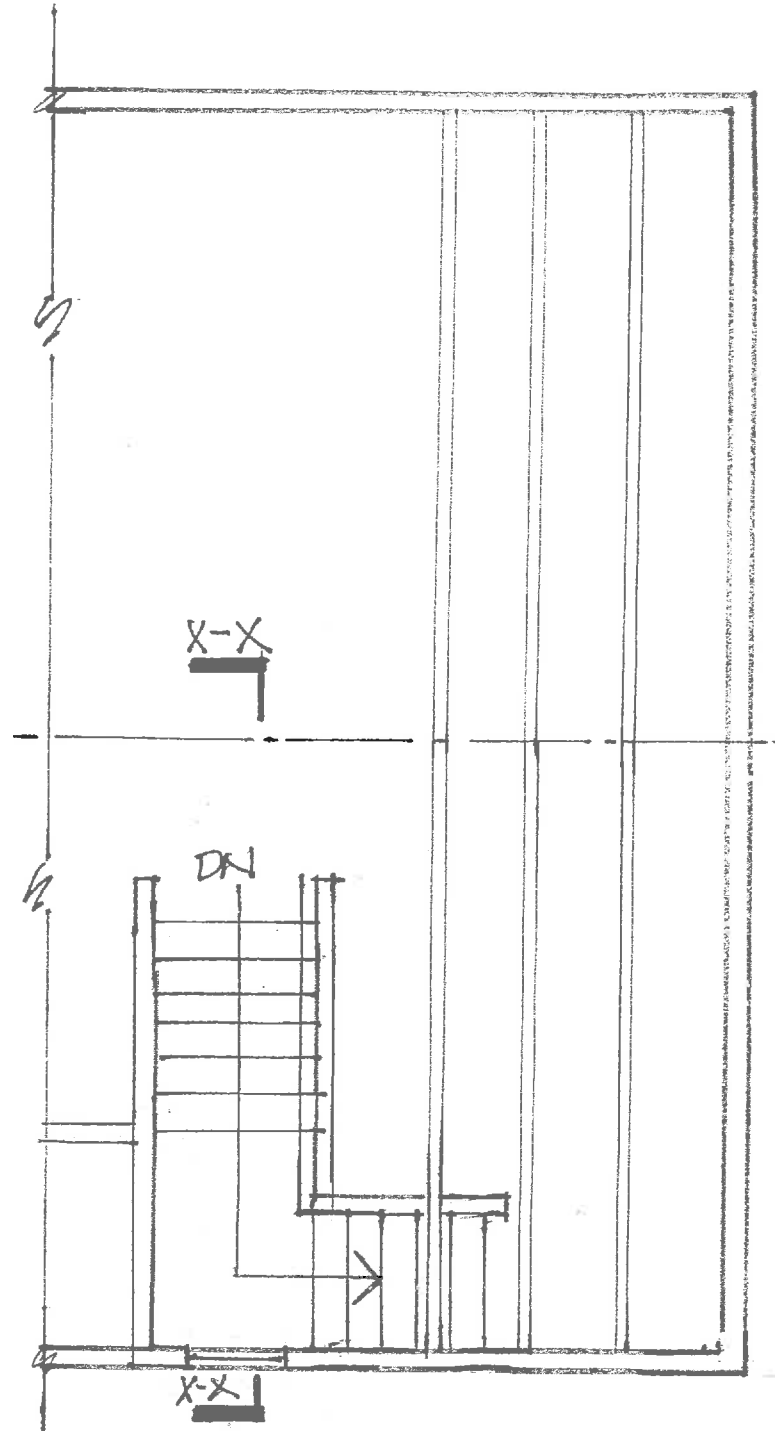
Scale: 1/2" = 1'-0" Date: June 15, 2020

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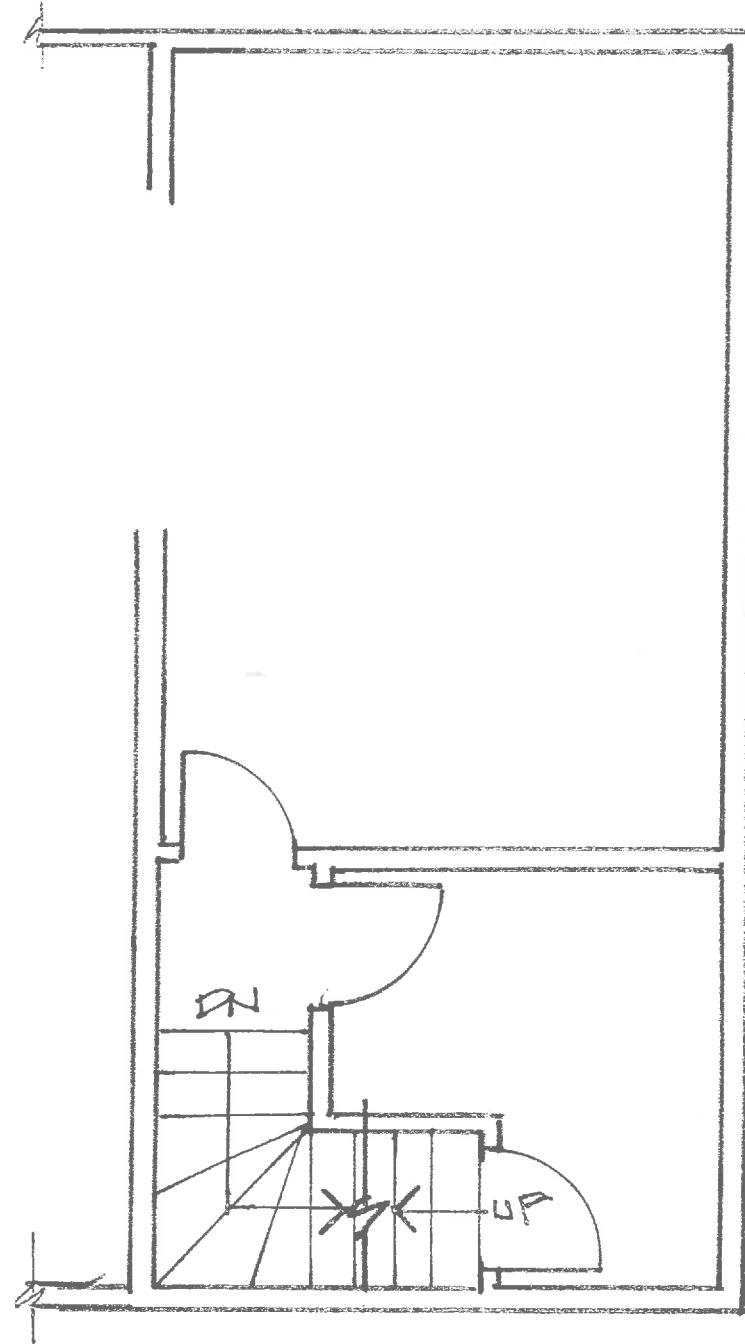
59 Stonedale Circle, Watertown, MA 02472



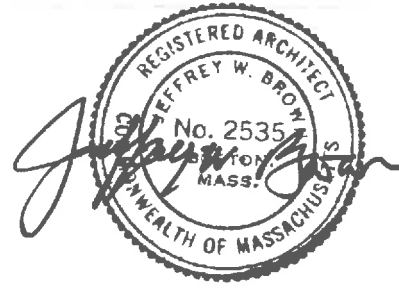
SECTION DETAIL 'X-X'
SCALE: 1/4" = 1'-0"



PARTIAL PLAN - FLOOR 3
SCALE: 1/4" = 1'-0"



PARTIAL PLAN - FLOOR 2
SCALE: 1/4" = 1'-0"



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PARTIAL PLANS - FLOORS 2 & 3
Phase: ——— Floor: Z # 3

Scale: 1/4" = 1'-0" June 15, 2020

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Room Finish Schedule

No.	Name	Floor	Base	Walls	Ceiling	Notes
A	Bedroom	wood	wood	drywall/pt	drywall/pt	
B	Bedroom	wood	wood	drywall/pt	drywall/pt	
C	Bathroom	certile	certile	certile/pt	drywall/pt	
D	Closet	wood	wood	drywall/pt	drywall/p	
E	Open Area	wood	wood	drywall/pt	drywall/pt	
F	Stair	wood	wood	drywall/pt	drywall/pt	

Door Schedule

No.	Type	Material	Size	Frame	Notes
1	1	wood	2-6x6-8	wood	lock set/in use
2	1	wood	2-6x6-8	wood	passage set
3	1	wood	2-6x6-8	wood	passage set
4	2	wood	pair 2-0x6-8	wood	louvred / folding

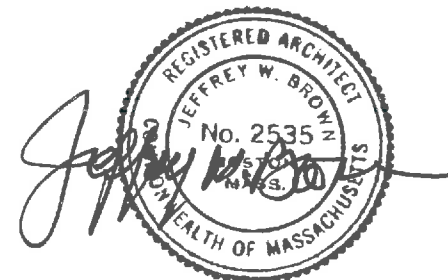
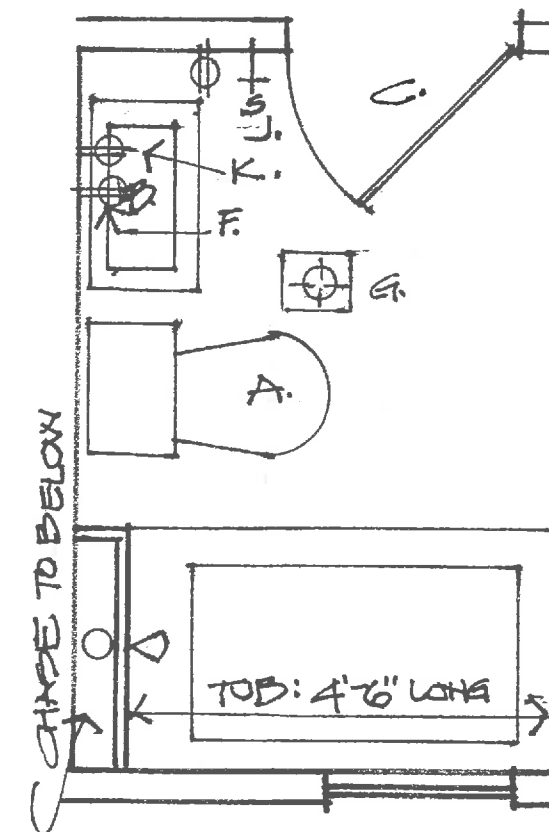
Window Schedule

No.	Type	Material	Size	Frame	Notes
A	1-pair	vinyl/dh	48hx23 wide	vinyl	white/ steel frame
B	1 -single	vinyl/dh	55hx23 wide	vinyl	white/ steel frame
C	1 -single	vinyl/dh	55hx23 wide	vinyl	white/ steel frame
D	1 -pair	vinyl/dh	48hx23 wide	vinyl	white/ steel frame
E	1 -single	vinyl/dh	48hx23 wide	vinyl	white/ steel frame
F	1 -pair	vinyl/dh	55hx23 wide	vinyl	white/ steel frame
G	2 -roof	wood	46hx30 wide	wood	roof window
H	2 -roof	wood	46hx30 wide	wood	roof window
J	2 -roof	wood	46hx30 wide	wood	roof window

BATHROOM

SCOPE OF WORK – CONSTRUCTION / INSTALLATION:

- A – New Toilet– ADA Approved
Niagra Stealth .8 gpf toilet, or Kohler ADA Approved toilet
Floor mounted, located 18" off of the finished side wall surface
All required hardware and restroom accessories
 - B – Wall hung sink – ADA Approved, by Kohler or equal
 - C – New restroom door – 6' 8" x 2' 6"
Solid core six-panel door – similar to existing in house-
Hardware to include 'vacant / occupied' indicator, and lock function
 - D - Finish painting of all walls, except at wainscot, and new drywall ceiling
 - E – New plywood floor to receive new 2"x 2" ceramic tile flooring
 - F – New vanity light over sink
 - G – New room ceiling electric light and exhaust fan unit
 - H – Ceramic tile wainscot to 42" AFF –
 - J – Switch with timer for new ceiling electric light and exhaust fan unit
 - K – Electrical: grounded outlet at sink location; additional outlet for cleaning
 - L – New exhaust air location – exit from building (location TBD)
- End



BATHROOM PLAN
SCALE: 1/2" = 1'-0"

Drawing: BUILDING DETAILS
 Phase: 1
 Floor: 3
 Scale: 1/2" = 1'-0"
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