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CASE NO. 18-45

2018 NOV 16 AM 11:49

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR 2 SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, December 3, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of the Belmont Police Department Building Committee, Anne Marie Mahoney Chair, for Two Special Permits under Section 1.5 of the Zoning By-Law to construct an addition at 460 Concord Ave. located in a Local Business I (LBI) Zoning District. Special Permits – 1.- Allowed maximum building height is 28.0'. The existing structure is 40.0' high from the existing average grade and the proposed is 37.0' from the proposed average grade 2.- Maximum allowed number of stories is Two (2), the existing structure is three and a half stories and the proposed is a third story addition.

ZONING BOARD OF APPEALS



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

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2018 NOV 16 AM 11:51

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

October 31, 2018

Belmont Police Department Building Committee
c/o Anne Marie Mahoney, Chair
460 Concord Avenue
Belmont, MA 02478

RE: Denial to Construct an Addition.

Dear Chair Mahoney:

The Office of Community Development is in receipt of the building permit application for the construction of an Addition at the Belmont Police Department at 460 Concord Avenue located in a Local Business I (LBI) Zoning District.

The application has been denied because it does not comply with the Town of Belmont Zoning By-Law. More specifically Section 4.2.3 of the By-Law allows maximum building height of 28.0' and two (2) story structures in LBI Zoning Districts.

- a. The height of the existing structure is 40.0' from the existing average grade and the proposed addition is 37.0' from the proposed average grade.
- b. The existing structure is Three and a Half (3-1/2) stories, (the lowest level of the structure is a basement, 46% of the foundation walls are exposed). The proposed addition is a Third Floor Addition (the lower level of the structure is a basement, 44% of the foundation walls are exposed) and is considered a story.

You may alter the plans to conform to the Zoning By-Law and resubmit for a building permit or you may request Two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development at (617) 993-2650 to schedule an appointment with Ara Yogurtian, Assistant Director, in order to begin this process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

Belmont Police Station Expansion
Special Permits Project Background

1. **Existing & Proposed Average Grade Calculation** (Measured around the perimeter of the building.) These calculations are used to determine the next two items.

Average Grade – Existing Building	Average Grade – Proposed Building
55'-0" Contour Line (55.71')	56'-0" Contour Line (56.64')

2. **% of exposed foundations walls, existing and after expansion.**

a. Area Exposed - Existing Foundation Wall

- i. North: 193 SF of 2,022 SF (9.5%)
- ii. South: 1,559 SF of 2,006 SF (77.7%)
- iii. East: 1,097 SF of 1,608 SF (68.2%)
- iv. West: 516 SF of 1,609 SF (32.1%)

Total % of Exposed Foundation Wall: 3,365 SF of 7,245 SF (46%)

b. Area Exposed - Foundation Wall after Expansion

- i. North: 193 SF of 2,022 SF (9.5%) - No Change
- ii. South: 2,053 SF of 2,376 SF (86.4%)
- iii. East: 2,055 SF of 2,669 SF (77%)
- iv. West: 0 SF of 2,669 SF (0%)

Total % of Exposed Foundation Wall: 4,301 SF of 9,736 SF (44%)

3. **Existing & Proposed Building Heights** (Measured from the average grade)

Existing Building (Measured to the midpoint of sloped roof)	Proposed Building (Measured to the top of 2 nd floor addition)
40'-8"	<ul style="list-style-type: none"> • Existing Height Unchanged • Proposed Addition – 34'-11"

4. **Existing & Proposed FARs** (Measured from the exterior face of exterior walls. Calculation includes spaces that have a ceiling height of 6'-0" or more. Spaces with a ceiling height less than 6'-0" are part of this calculation not included.)

FAR Calculation	
Total Lot Size	24,571 SF
FAR 1.25*	1.25
Permissible Gross Floor Area (GFA)	30,714 SF

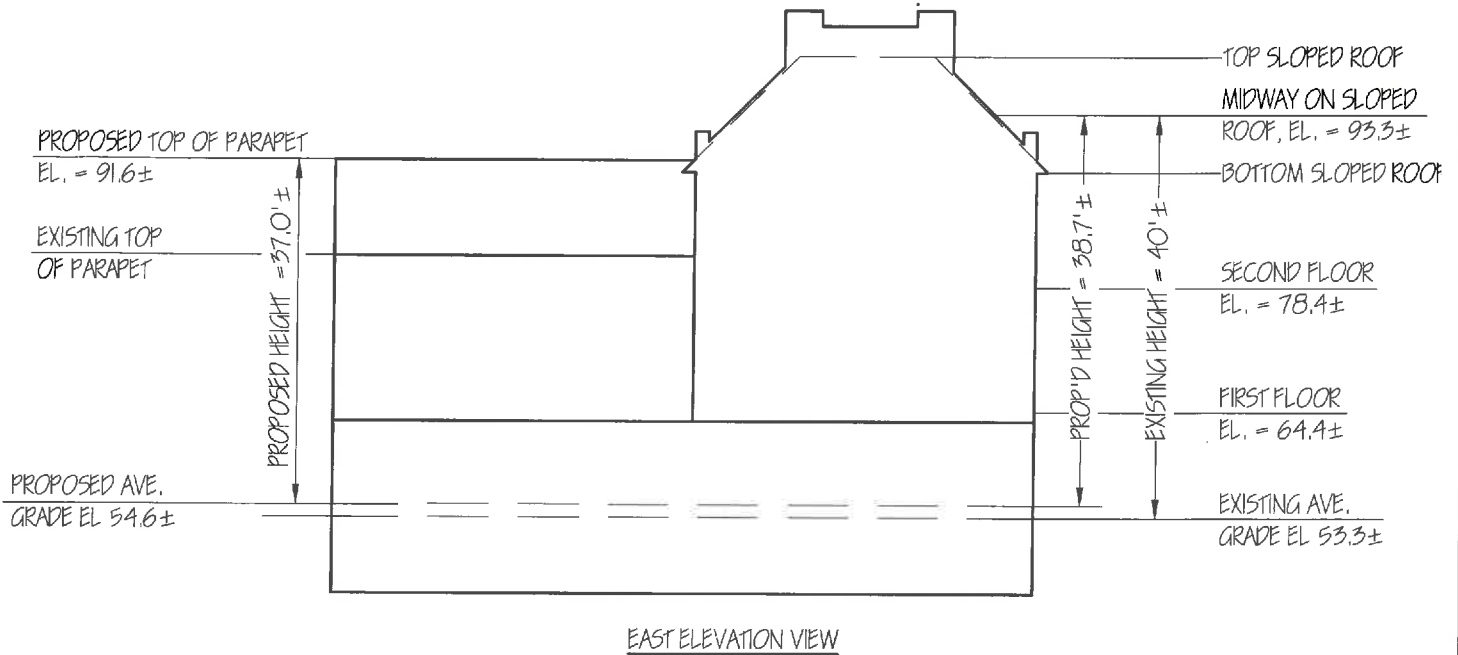
* Zoning bylaws allow a FAR of 1.5 with a special permit (Permissible Gross Floor Area with FAR 1.5 would be 36,534 SF)

Existing Building	16,647 SF
Existing FAR 1.25	20,809 SF
Proposed Expansion GFA	7,913 SF
Proposed Expansion FAR	29,891 SF
Combined GFA	30,700 SF

30,700 SF < 30,714 SF therefore **FAR is compliant.**

24560.-

CALCULATIONS FOR BOTH EXISTING AND PROPOSED BUILDING HEIGHT, AVERAGE GRADE AT FOUNDATION AND PERCENTAGE OF FOUNDATION LOCATED BELOW GRADE.



NOTE:

CALCULATIONS SHOWN IN THIS REPORT HAVE BEEN MADE USING A COMBINATION OF FIELD OBTAINED ELEVATIONS BY FARLAND CORP. AND INFORMATION SHOWN ON ARCHITECTURAL PLANS NOTED AS "NOT FOR CONSTRUCTION" PROVIDED BY THE GALANTE ARCHITECTURE STUDIO INC.

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BUILDING HEIGHT CALCULATIONS

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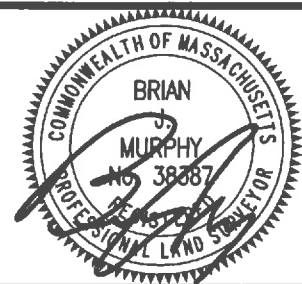


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PREPARED FOR:

TOWN OF BELMONT POLICE DEPT.
 460 CONCORD AVENUE
 BELMONT, MA, 02478

SCALE: NOT TO SCALE

DATE: OCTOBER 23, 2018

JOB NO: 18-631 | SHEET: 1 OF 12

EXISTING FOUNDATION BELOW GRADE CALCULATIONS

CALCULATED WALL AREAS:

A TO B	641.7 SF.
B JOG	18.6 SF.
B TO C	665.7 SF.
C TO D	1,256.7 SF.
D TO E	720.0 SF.
E TO F	407.6 SF.
F TO G	618.5 SF.
G TO H	425.9 SF.
H JOG	18.6 SF.
H TO A	1,290.8 SF.
TOTAL	6,064.1 SF.

CALCULATED WALL AREAS BELOW GRADE:

A TO B	221.6 SF.
B JOG	4.2 SF.
B TO C	37.4 SF.
C TO D	61 SF.
D TO E	172.5 SF.
E TO F	192.4 SF.
F TO G	618.5 SF.
G TO H	403.0 SF.
H JOG	16.3 SF.
H TO A	1,124.3 SF.
TOTAL	2,796.3 SF.

EXISTING PERCENTAGE OF FOUNDATION BELOW GRADE:

$2,796.3 / 6,064.1 = 0.46 = 46\%$

PROPOSED FOUNDATION BELOW GRADE CALCULATIONS

CALCULATED WALL AREAS:

A TO B	641.7 SF.
B JOG	18.6 SF.
B TO C	665.7 SF.
C TO D	1,214.0 SF.
D TO E	851.2 SF.
E TO F	699.2 SF.
F TO G	1,178.8 SF.
G TO H	123.8 SF.
I TO J	349.4 SF.
J TO K	425.9 SF.
K TO L	618.5 SF.
L JOG	425.9 SF.
L JOG	18.6 SF.
L TO A	1,290.8 SF.
TOTAL	8,522.1 SF.

CALCULATED WALL AREAS BELOW GRADE:

A TO B	221.6 SF.
B JOG	4.2 SF.
B TO C	37.4 SF.
C TO D	0.0 SF.
D TO E	0.0 SF.
E TO F	19.8 SF.
F TO G	1,178.8 SF.
G TO H	123.8 SF.
H TO I	349.4 SF.
I TO J	425.9 SF.
J TO K	618.5 SF.
K TO L	403.0 SF.
L JOG	16.3 SF.
L TO A	1,124.3 SF.
TOTAL	4,523.0 SF.

PROPOSED PERCENTAGE OF FOUNDATION BELOW GRADE:

$4,523.0 / 8,522.1 = 0.53 = 53\%$

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EXISTING FOUNDATION CALCULATIONS

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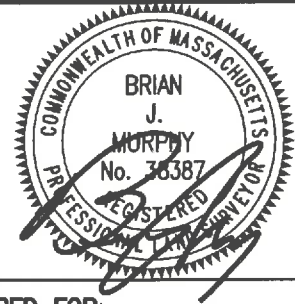
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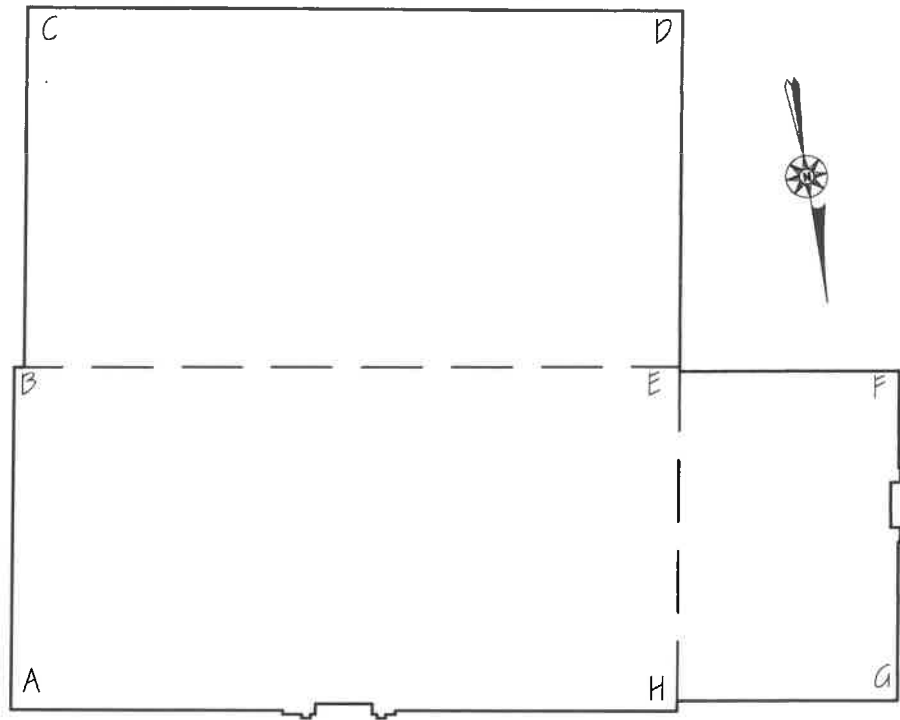
TOWN OF BELMONT POLICE DEPT.
460 CONCORD AVENUE
BELMONT, MA, 02478

SCALE: NOT TO SCALE

DATE: OCTOBER 23, 2018

JOB NO: 18-631 | SHEET: 2 OF 12

WALL LENGTHS:
 A to B = 35.6±'
 Jsq @ B = 1.0±'
 B to C = 37.4±'
 C to D = 68.2±'
 D to E = 37.5±'
 E to F = 22.9±'
 F to G = 34.3±'
 G to H = 22.9±'
 Jsq @ H = 1.0±'
 H to A = 69.4±'
 TOTAL = 330.2±'



WALL AVE. ELEV:
 A to B = 51.4
 Jsq @ B = 48.8
 B to C = 46.4
 C to D = 44.2
 D to E = 48.6
 E to F = 53.8
 F to G = 64.2
 G to H = 62.2
 Jsq @ H = 60.9
 H to A = 60.8

EXISTING AVERAGE GRADE CALCULATION:

$$\begin{aligned} & [(35.6')(51.4) + (37.4')(46.4) + (68.2')(44.2) + \\ & (37.5')(48.6) + (22.9')(53.8) + (34.3')(64.2) + \\ & (22.9')(62.2) + (69.4')(60.8) + (1')(48.8) + \\ & (1')(60.9)] / 330.2' = 53.3 \end{aligned}$$

EXISTING AVERAGE GRADE = 53.3

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EXISTING AVERAGE GRADE CALCULATIONS

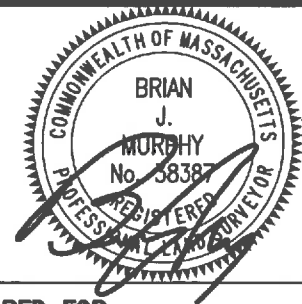
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SCALE: 1"=20'

DATE: OCTOBER 23, 2018

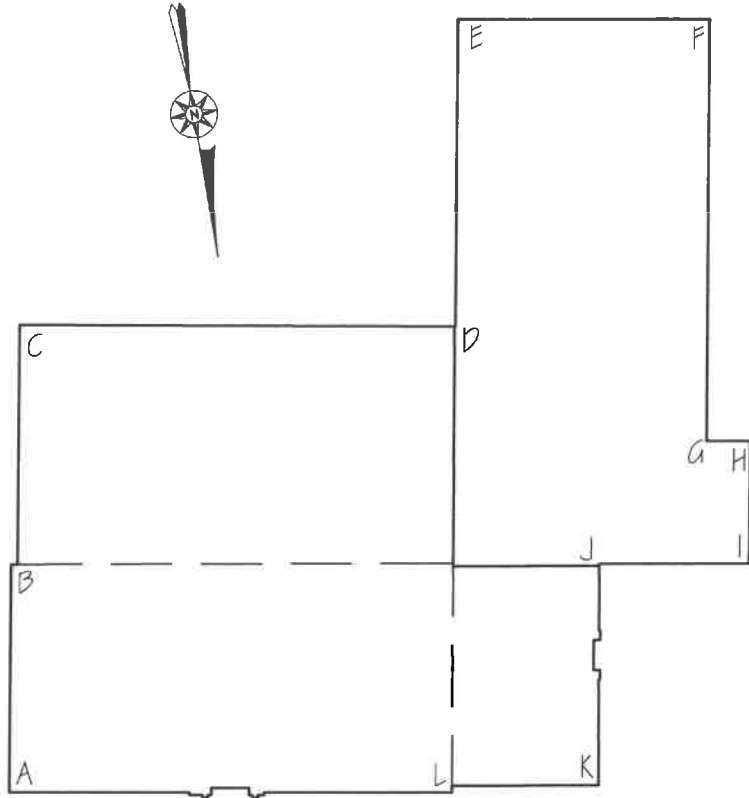
JOB NO: 18-631 | SHEET: 3 OF 12

WALL LENGTHS:

A to B = 35.6±'
 Joq @ B = 1.0±'
 B to C = 37.4±'
 C to D = 68.4±'
 D to E = 47.9±'
 E to F = 39.5±'
 F to G = 65.9±'
 G to H = 6.8±'
 H to I = 19.2±'
 I to J = 23.4±'
 J to K = 34.6±'
 K to L = 22.9±'
 Joq @ K = 1.0±'
 L to A = 69.4±'
 TOTAL = 473.0±'

WALL AVE. ELEV:

A to B = 51.4±
 Joq @ B = 48.8±
 B to C = 46.4±
 C to D = 44.2±
 D to E = 44.0±
 E to F = 44.5±
 F to G = 63.8±
 G to H = 64.4±
 H to I = 64.1±
 I to J = 64.1±
 J to K = 64.2±
 K to L = 62.2±
 Joq @ K = 60.9±
 L to A = 60.8±



PROPOSED AVERAGE GRADE CALCULATION:

$$\begin{aligned}
 & [(35.6')(51.4) + (1.0')(48.8) + (37.4')(46.4) + \\
 & (68.4')(44.2) + (47.9')(44.0) + (39.5')(44.5) + \\
 & (65.9')(63.8) + (6.8')(64.4) + (19.2')(64.1) + \\
 & (23.4')(64.1) + (34.6')(64.2) + (22.9')(62.2) + \\
 & (1')(60.9) + (69.4')(60.8)] / 473.0' = 54.6
 \end{aligned}$$

PROPOSED AVERAGE GRADE = 54.6

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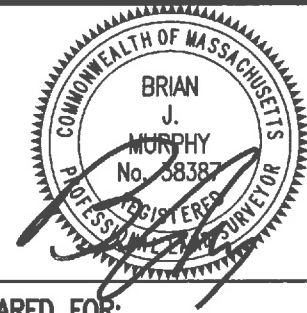
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PROPOSED AVERAGE GRADE CALCULATIONS

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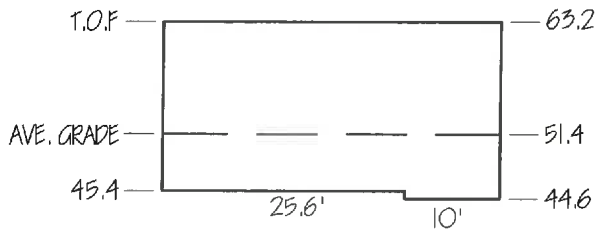
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SCALE: 1"=30'

DATE: OCTOBER 23, 2018

JOB NO: 18-631 | SHEET: 4 OF 12

EXISTING FOUNDATION CALCULATIONS

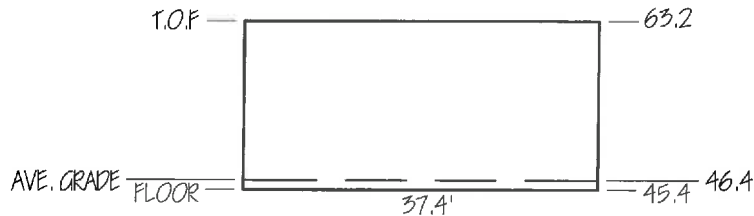


WALL SECTION A TO B

TOTAL WALL AREA = (25.6')(17.8') + (10')(18.6') 641.7 S.F.
 WALL AREA BELOW GRADE = (25.6')(6.0') + (10')(6.8') = 221.6 S.F.

WALL SECTION JOG AT B

TOTAL WALL AREA = (1')(18.6') 18.6 S.F.
 WALL AREA BELOW GRADE = (1')(4.2') = 4.2 S.F.



WALL SECTION B TO C

TOTAL WALL AREA = (37.4')(17.8') 665.7 S.F.
 WALL AREA BELOW GRADE = (37.4')(1.0') = 37.4 S.F.

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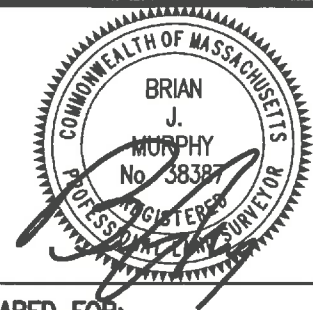
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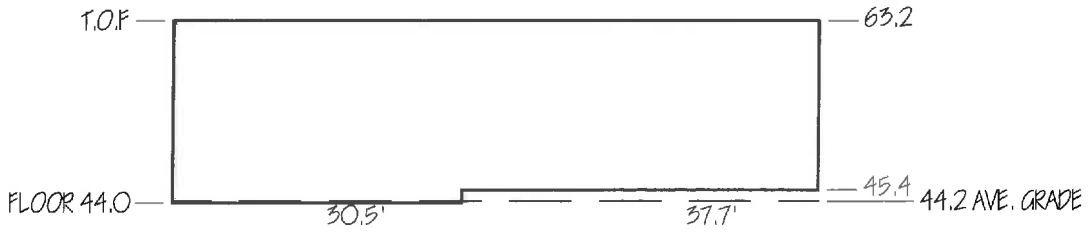
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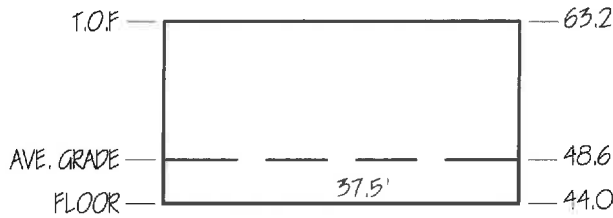
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EXISTING FOUNDATION CALCULATIONS



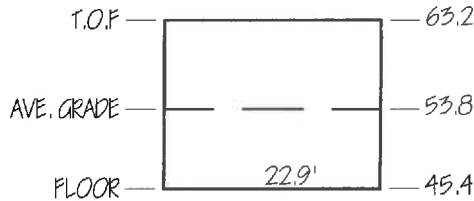
WALL SECTION C TO D

TOTAL WALL AREA = (30.5')(19.2') + (37.7')(17.8') = 1,256.7 SF
 WALL AREA BELOW GRADE = (30.5')(0.2') = 6.1 SF.



WALL SECTION D TO E

TOTAL WALL AREA = (37.5')(19.2') = 720.0 SF
 WALL AREA BELOW GRADE = (37.5')(4.6') = 172.5 SF.



WALL SECTION E TO F

TOTAL WALL AREA = (22.9')(17.8') = 407.6 SF
 WALL AREA BELOW GRADE = (22.9')(8.4') = 192.4 SF.

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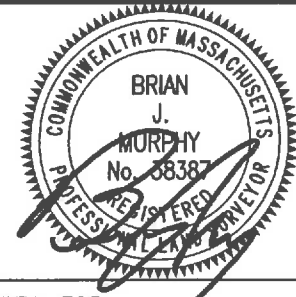
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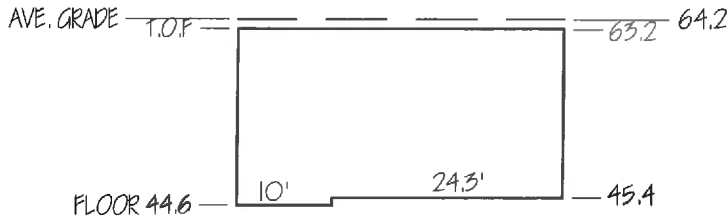
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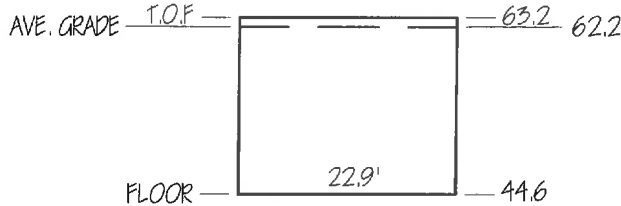


EXISTING FOUNDATION CALCULATIONS



WALL SECTION F TO G

TOTAL WALL AREA = (10')(18.6') + (24.3')(17.8') = 618.5 SF
 WALL AREA BELOW GRADE = 618.5 SF.

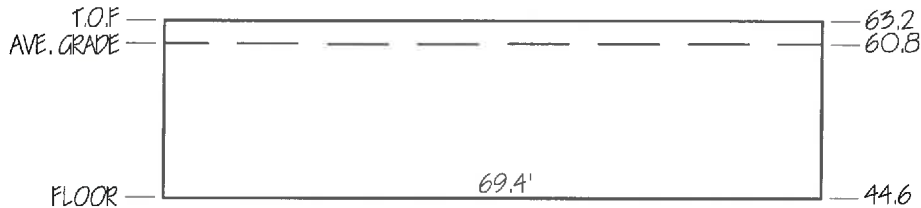


WALL SECTION G TO H

TOTAL WALL AREA = (22.9')(18.6') = 425.9 SF
 WALL AREA BELOW GRADE = (22.9')(17.6') = 403.0 SF.

WALL SECTION JOG AT H

TOTAL WALL AREA = (1')(18.6') = 18.6 SF
 WALL AREA BELOW GRADE = (1')(16.3') = 16.3 SF.



WALL SECTION H TO A

TOTAL WALL AREA = (69.4')(18.6') = 1,290.8 SF
 WALL AREA BELOW GRADE = (69.4')(16.2') = 1,124.3 SF.

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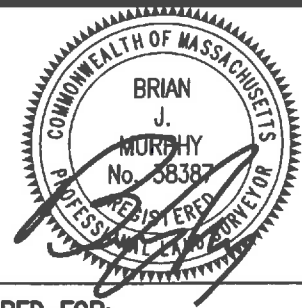
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 BELMONT, MASSACHUSETTS



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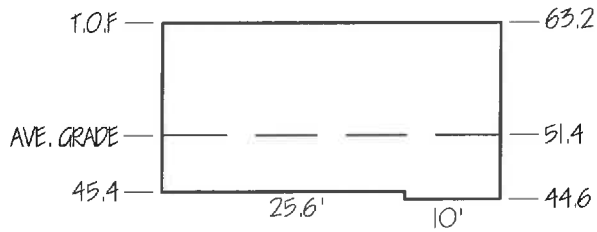
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 BELMONT, MA, 02478

SCALE: NOT TO SCALE

DATE: OCTOBER 23, 2018

JOB NO: 18-631 | SHEET: 7 OF 12

PROPOSED FOUNDATION CALCULATIONS

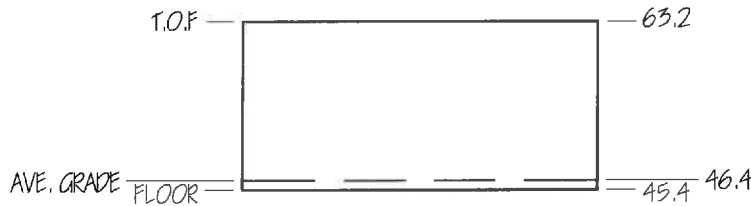


WALL SECTION A TO B

TOTAL WALL AREA = (25.6')(17.8') + (10')(18.6') 641.7 SF
 WALL AREA BELOW GRADE = (25.6')(6.0') + (10')(6.8') = 221.6 SF.

WALL SECTION JOG AT B

TOTAL WALL AREA = (1')(18.6') 18.6 SF
 WALL AREA BELOW GRADE = (1')(4.2') = 4.2 SF.



WALL SECTION B TO C

TOTAL WALL AREA = (37.4')(17.8') 665.7 SF
 WALL AREA BELOW GRADE = (37.4')(1.0') = 37.4 SF.

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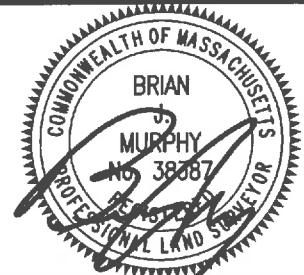
PROPOSED FOUNDATION CALCULATIONS

460 CONCORD AVENUE
 ASSESSORS PARCEL I.D. 31-1-B
 BELMONT, MASSACHUSETTS



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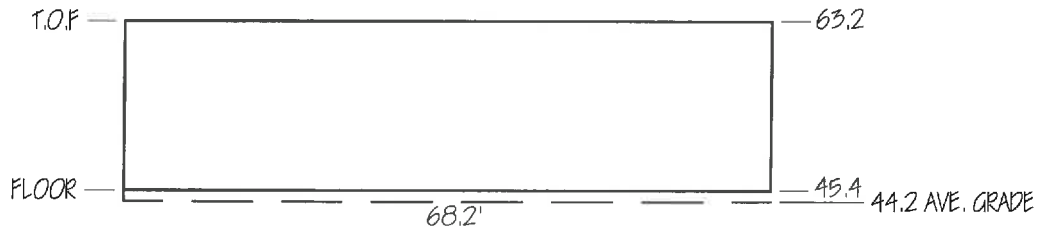
PREPARED FOR:
 TOWN OF BELMONT POLICE DEPT.
 460 CONCORD AVENUE
 BELMONT, MA, 02478

SCALE: NOT TO SCALE

DATE: OCTOBER 23, 2018

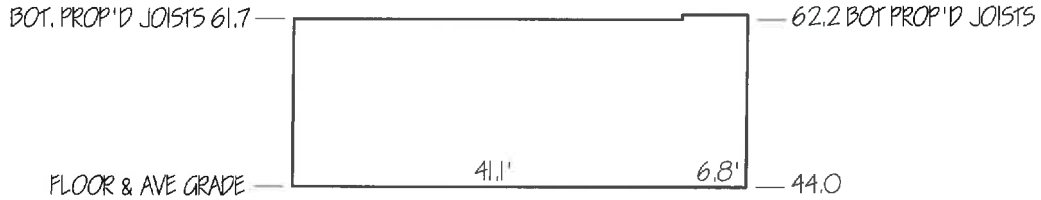
JOB NO: 18-631 | SHEET: 8 OF 12

PROPOSED FOUNDATION CALCULATIONS



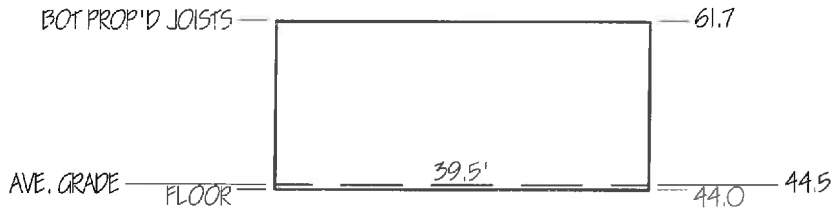
WALL SECTION C TO D

TOTAL WALL AREA = (68.2')(17.8') = 1,214.0 SF
 WALL AREA BELOW GRADE = 0.0 SF.



WALL SECTION D TO E

TOTAL WALL AREA = (41.1')(17.7') + (6.8')(18.2') = 851.2 SF
 WALL AREA BELOW GRADE = 0.0 SF.



WALL SECTION E TO F

TOTAL WALL AREA = (39.5')(17.7') = 699.2 SF
 WALL AREA BELOW GRADE = (39.5')(0.5') = 19.8 SF.

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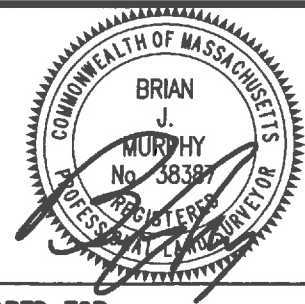
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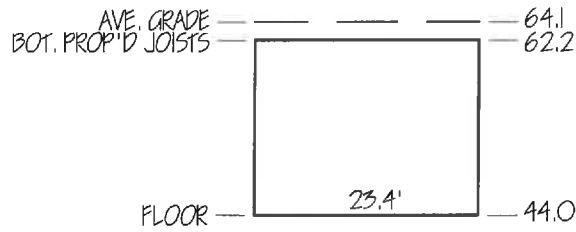
TOWN OF BELMONT POLICE DEPT.
 460 CONCORD AVENUE
 BELMONT, MA, 02478

SCALE: NOT TO SCALE

DATE: OCTOBER 23, 2018

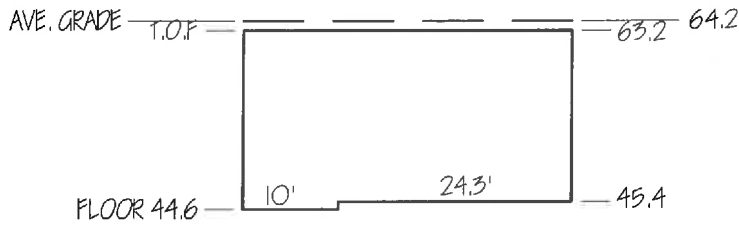
JOB NO: 18-631 | SHEET: 9 OF 12

PROPOSED FOUNDATION CALCULATIONS



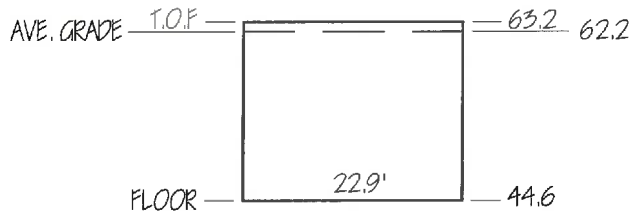
WALL SECTION I TO J

TOTAL WALL AREA = (23.4')(18.2') = 425.9 SF
 WALL AREA BELOW GRADE = 425.9 SF.



WALL SECTION J TO K

TOTAL WALL AREA = (10')(18.6') + (24.3')(17.8') = 618.5 SF
 WALL AREA BELOW GRADE = 618.5 SF.



WALL SECTION K TO L

TOTAL WALL AREA = (22.9')(18.6') = 425.9 SF
 WALL AREA BELOW GRADE = (22.9')(17.6') = 403.0 SF.

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PROPOSED FOUNDATION CALCULATIONS

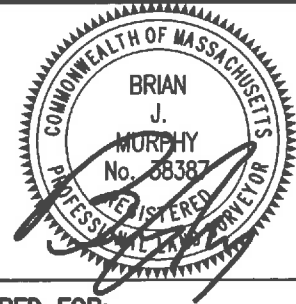
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SCALE: NOT TO SCALE

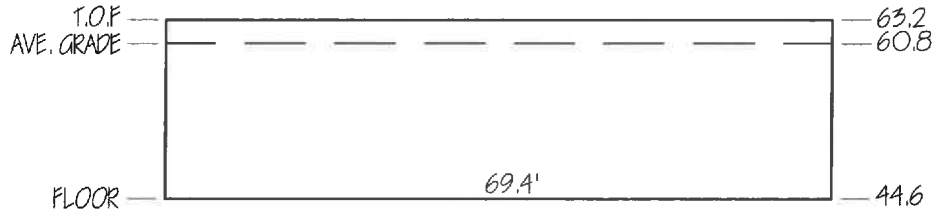
DATE: OCTOBER 23, 2018

JOB NO: 18-631 | SHEET: 11 OF 12

PROPOSED FOUNDATION CALCULATIONS

WALL SECTION JOG AT L

TOTAL WALL AREA = (1')(18.6') = 18.6 S.F.
WALL AREA BELOW GRADE = (1')(16.3') = 16.3 S.F.



WALL SECTION L TO A

TOTAL WALL AREA = (69.4')(18.6') = 1,290.8 S.F.
WALL AREA BELOW GRADE = (69.4')(16.2') = 1,124.3 S.F.

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PROPOSED FOUNDATION CALCULATIONS

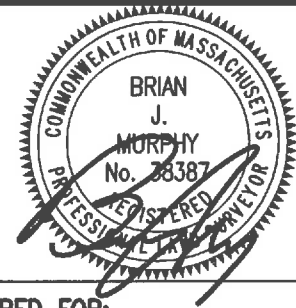
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460 CONCORD AVENUE
BELMONT, MA, 02478

SCALE: NOT TO SCALE

DATE: OCTOBER 23, 2018

JOB NO: 18-631 | SHEET: 12 OF 12



Project Number
1809.00

Project Title
Belmont Police Station
Renovation &
Expansion

460 Concord Ave,
Belmont, MA 02478

Drawing Title

Basement Floor
Plan

Date/Issued For

10.30.2018

Design Development

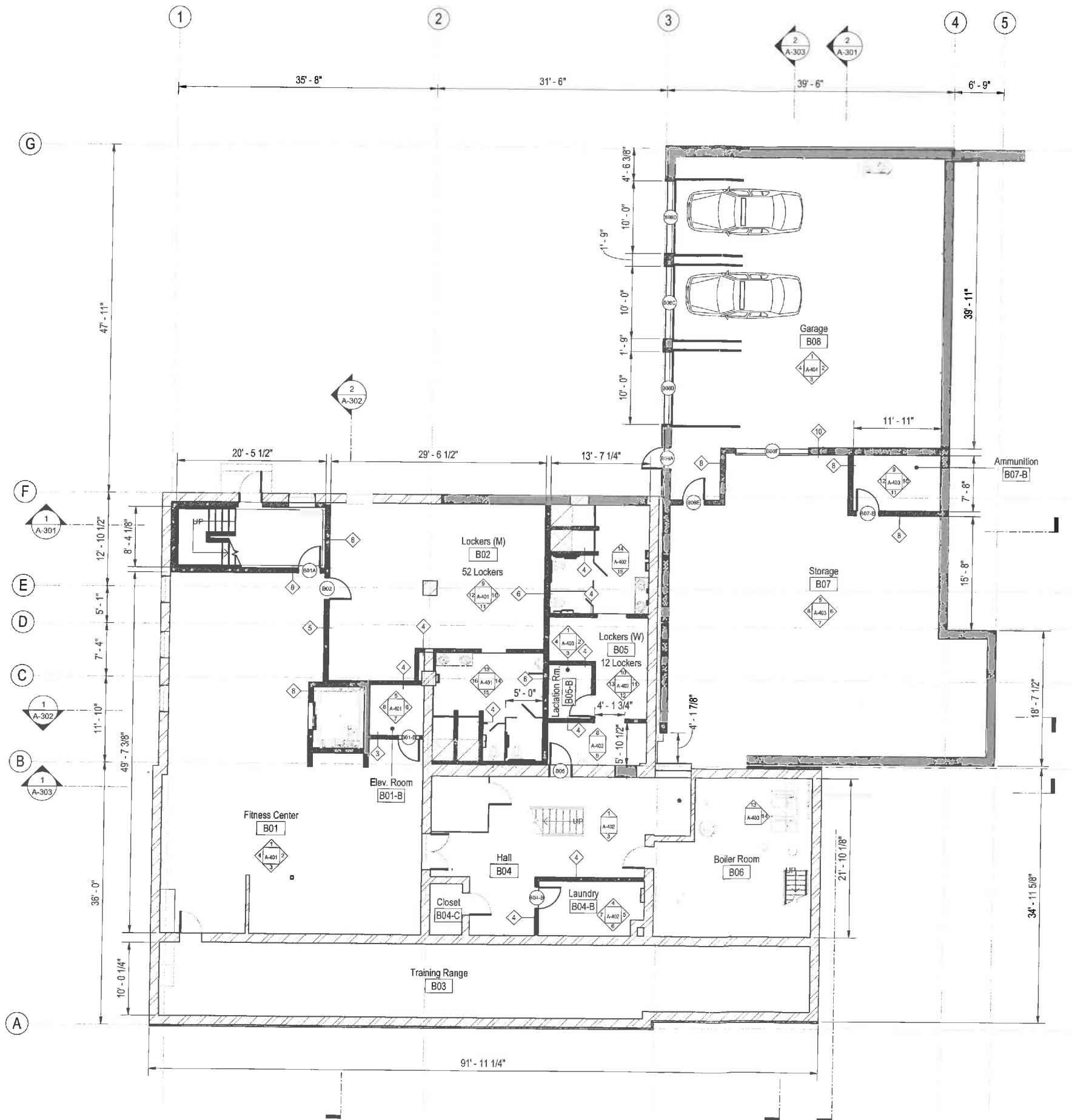
**NOT FOR
CONSTRUCTION**

Scale
1/8" = 1'-0"

Drawn By
GRK

Drawing Number

A-100



1 00-Basement - Proposed
1/8" = 1'-0"



Project Number
1809.00

Project Title
Belmont Police Station
Renovation &
Expansion

460 Concord Ave,
Belmont, MA 02478

Drawing Title
First Floor Plan

Date/Issued For
10.30.2018

Design Development

**NOT FOR
CONSTRUCTION**

Print 24 x 36

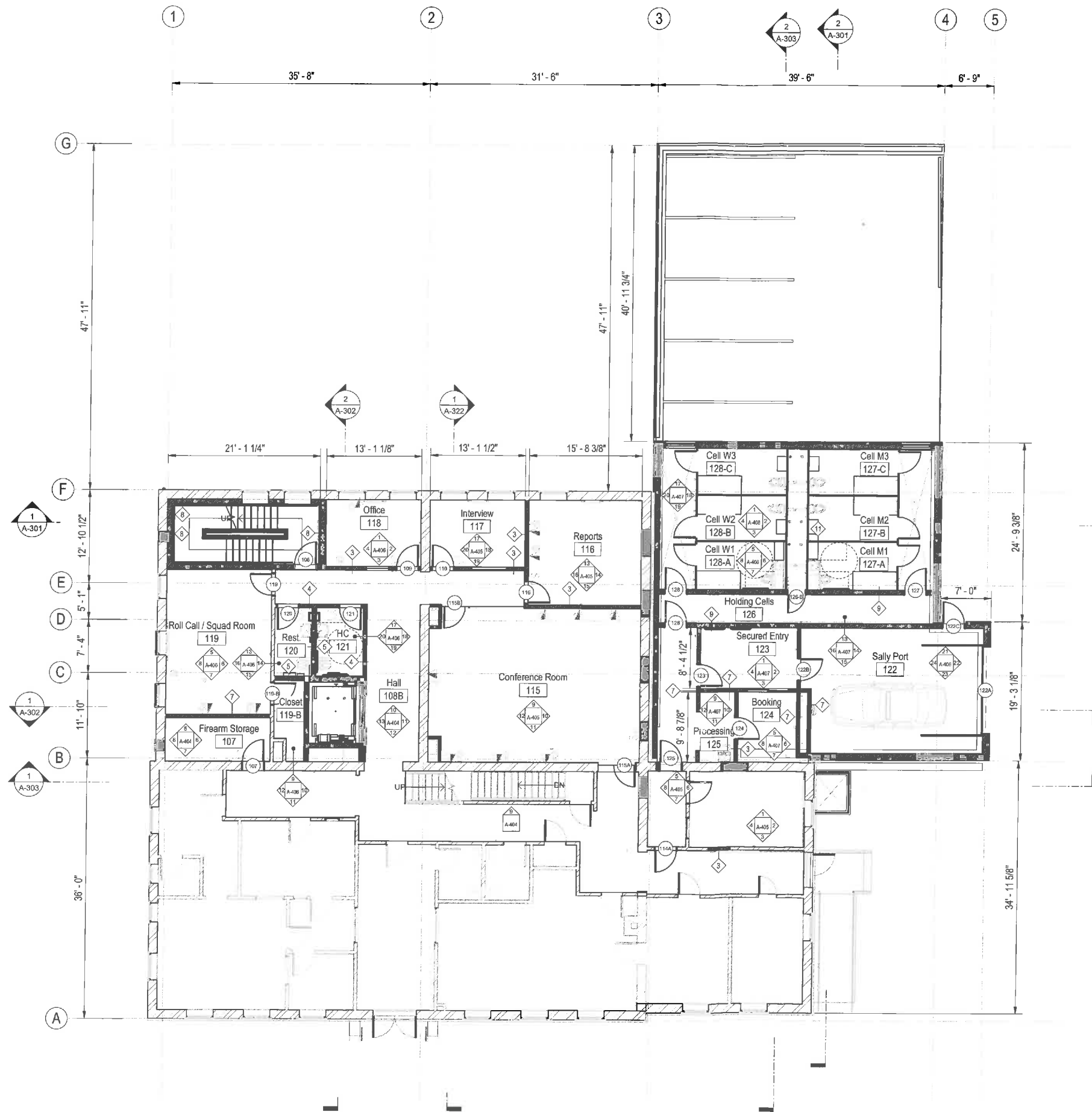
Scale
1/8" = 1'-0"

Drawn By
GRK

Drawing Number

A-101

- Note:
1. Holding cell walls are based on using a steel wall panel system.
 2. Glass Opening in Interview rooms 114 & 117 are to have one way glass



① 01-First Floor - Proposed
1/8" = 1'-0"



Project Number
1809.00

Project Title
Belmont Police Station
Renovation &
Expansion

460 Concord Ave,
Belmont, MA 02478

Drawing Title
Second Floor Plan

Date/Issued For
10.30.2018

Design Development

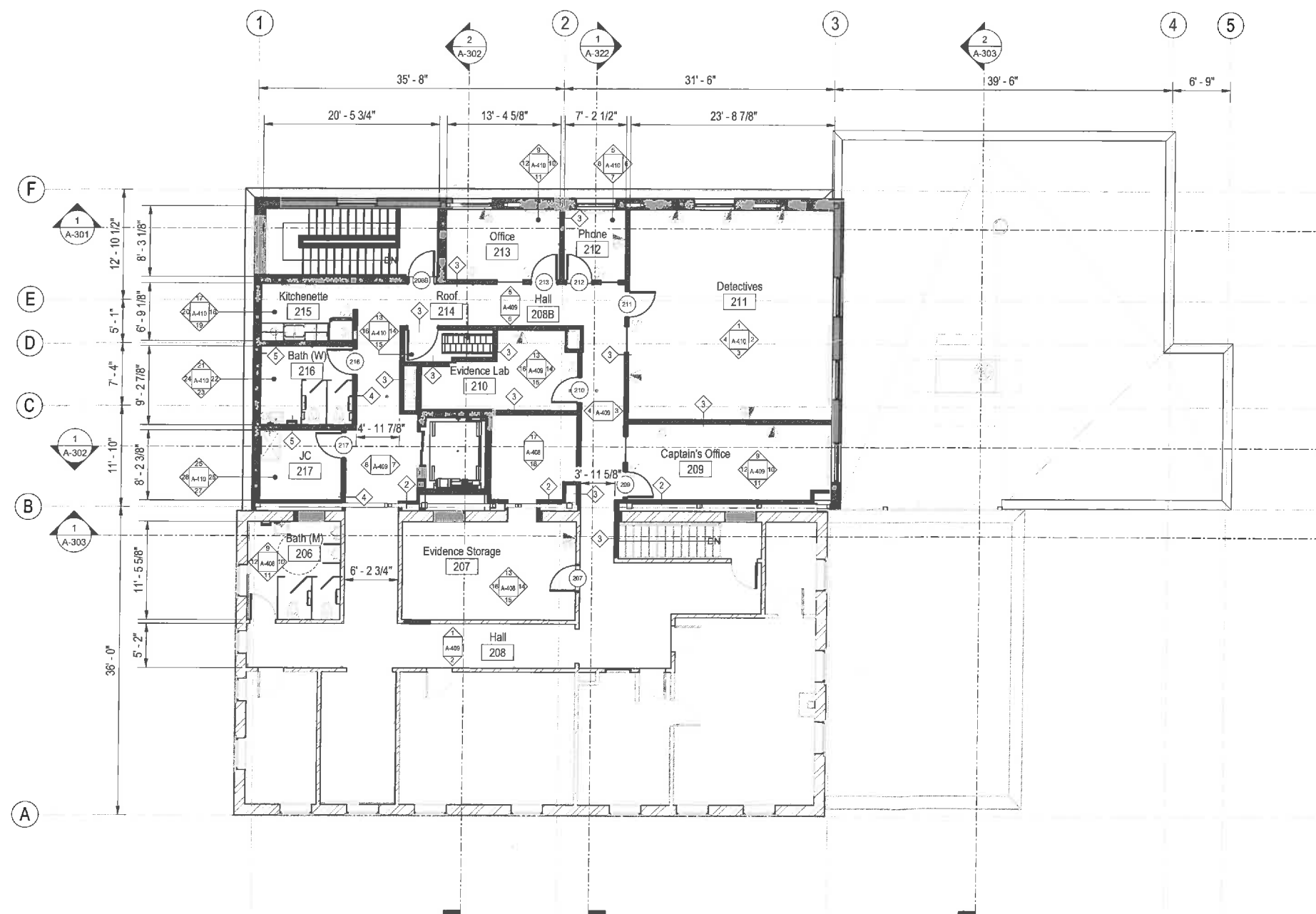
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CONSTRUCTION**

Scale
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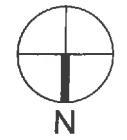
Drawn By
GRK

Drawing Number

A-102



① 02-Second Floor - Proposed
1/8" = 1'-0"



Project Number
1809.00

Project Title
Belmont Police Station
Renovation &
Expansion

460 Concord Ave,
Belmont, MA 02478

Drawing Title
Proposed Roof
Plan

Date/Issued For
10.30.2018

Design Development

**NOT FOR
CONSTRUCTION**

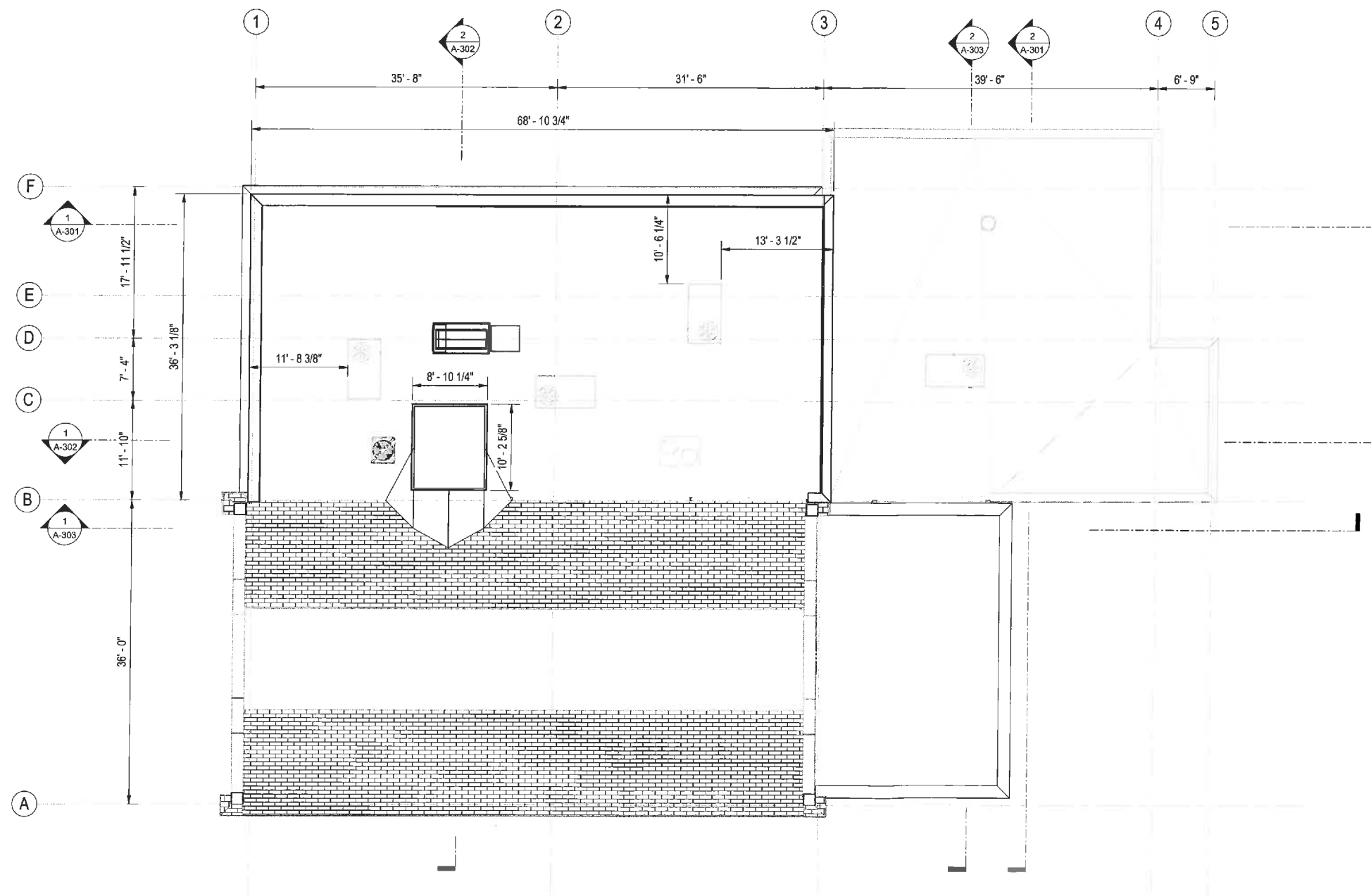
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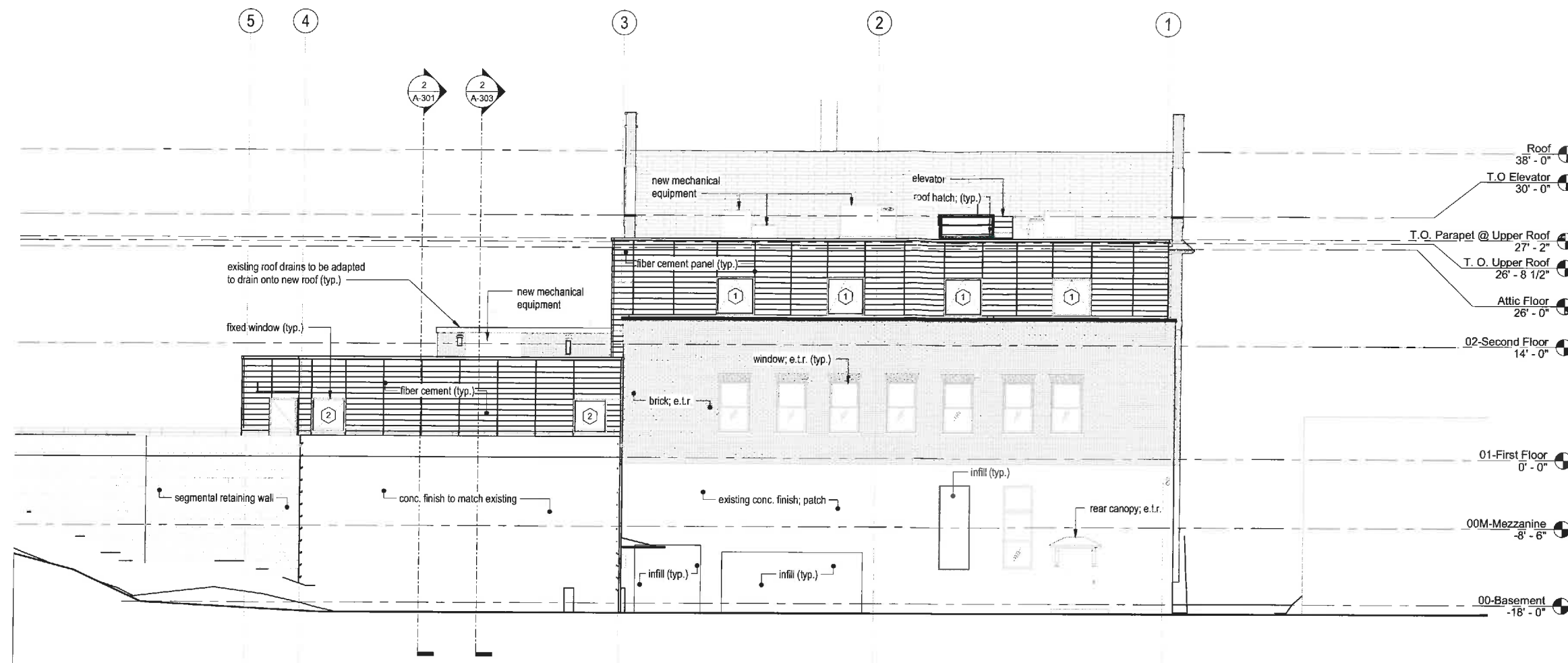
Drawn By
GRK

Drawing Number

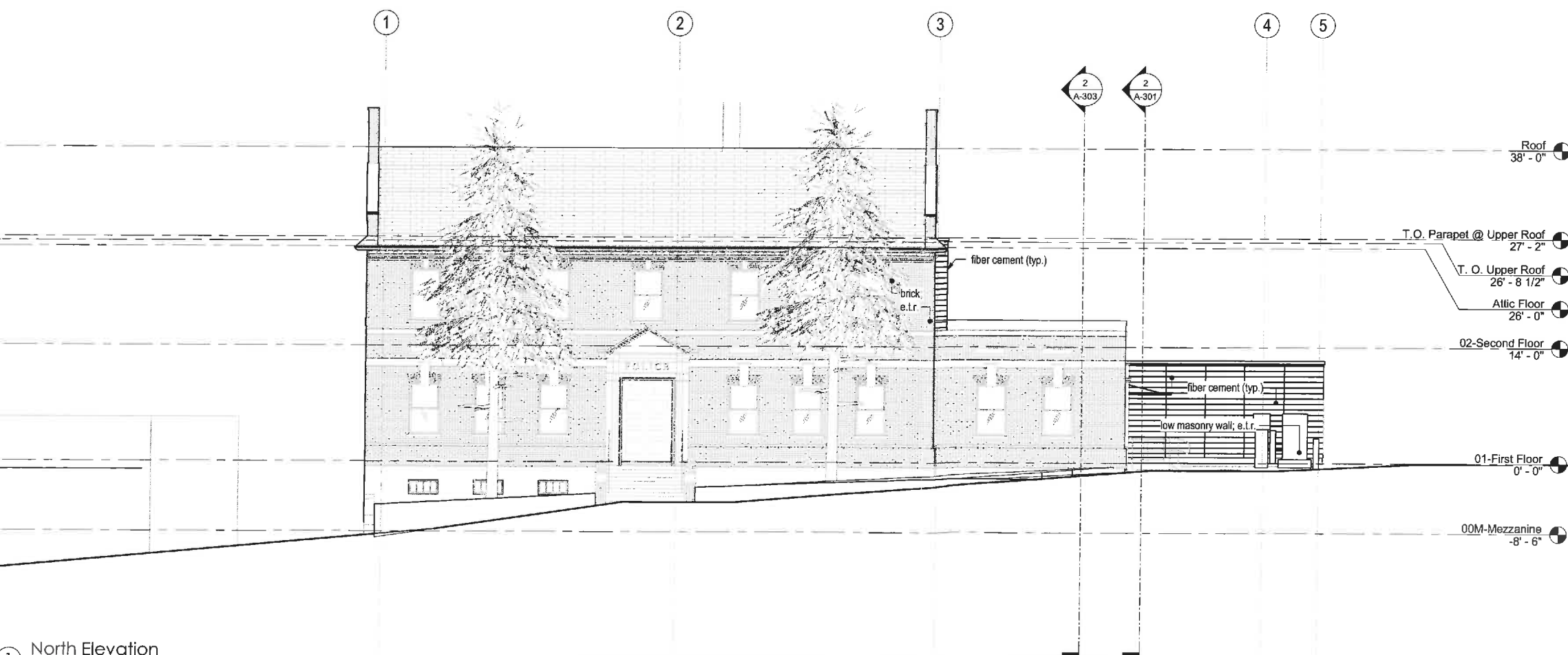
A-103



① 03 - Roof Plan - Proposed
1/8" = 1'-0"



② South Elevation
1/8" = 1'-0"



① North Elevation
1/8" = 1'-0"

Project Number
1809.00

Project Title
Belmont Police Station
Renovation &
Expansion

460 Concord Ave,
Belmont, MA 02478

Drawing Title
Proposed Building
Elevations

Date/Issued For
10.30.2018

Design Development

**NOT FOR
CONSTRUCTION**

Scale
1/8" = 1'-0"

Drawn By
GRK

Drawing Number

A-201

Project Number
1809.00

Project Title
Belmont Police Station
Renovation &
Expansion

460 Concord Ave,
Belmont, MA 02478

Drawing Title
Proposed Building
Elevations

Date/Issued For
10.30.2018

Design Development

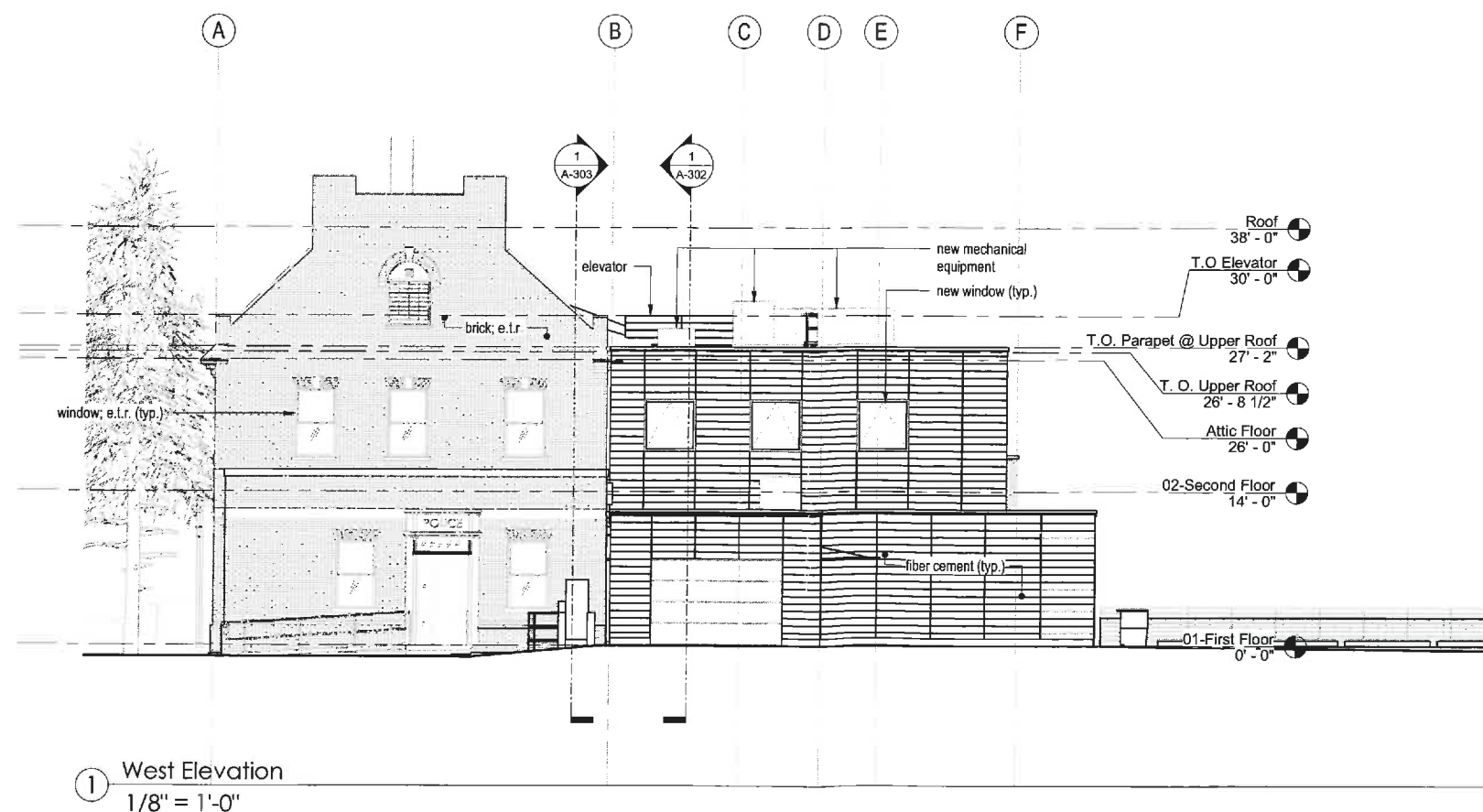
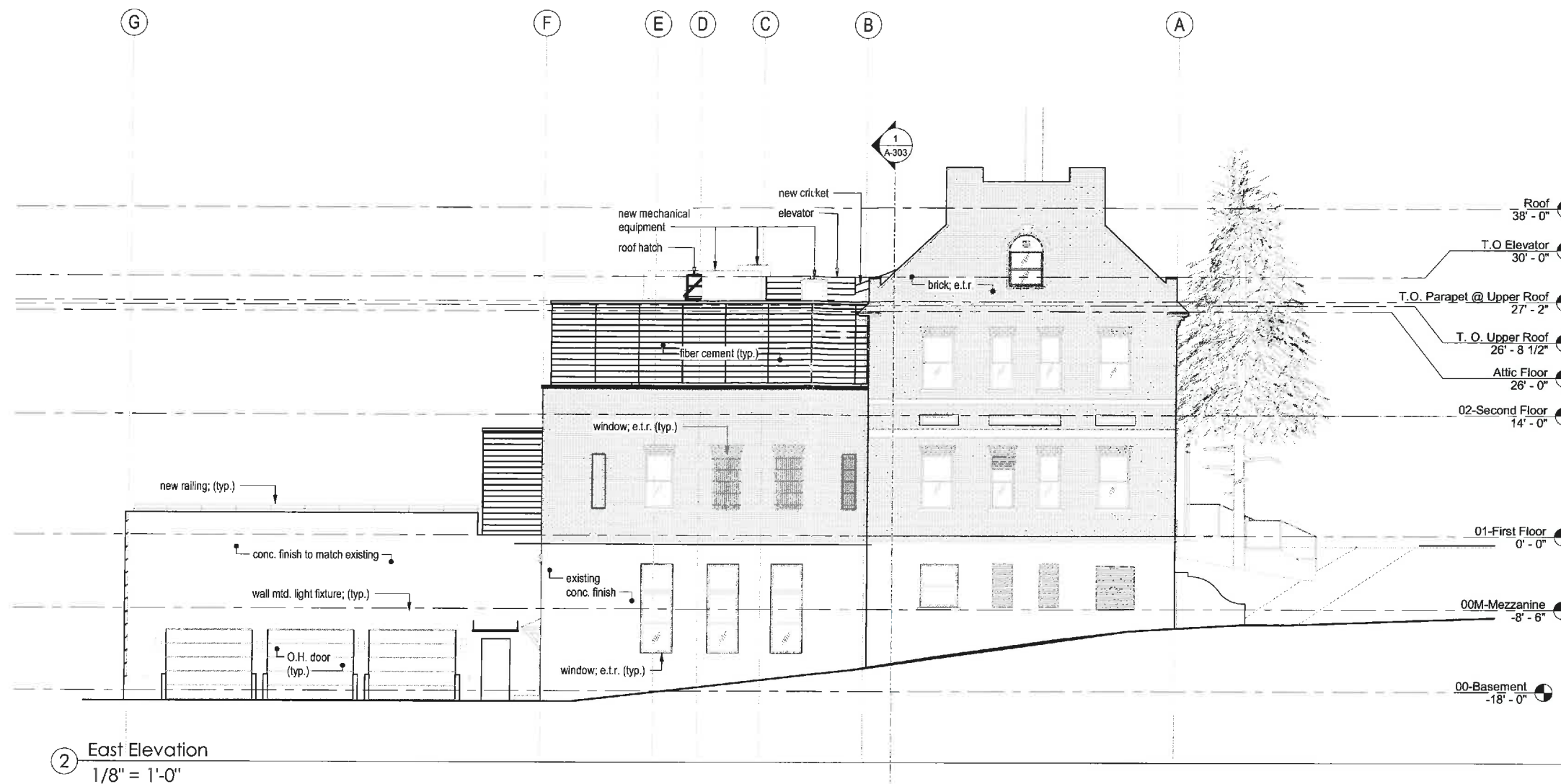
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CONSTRUCTION**

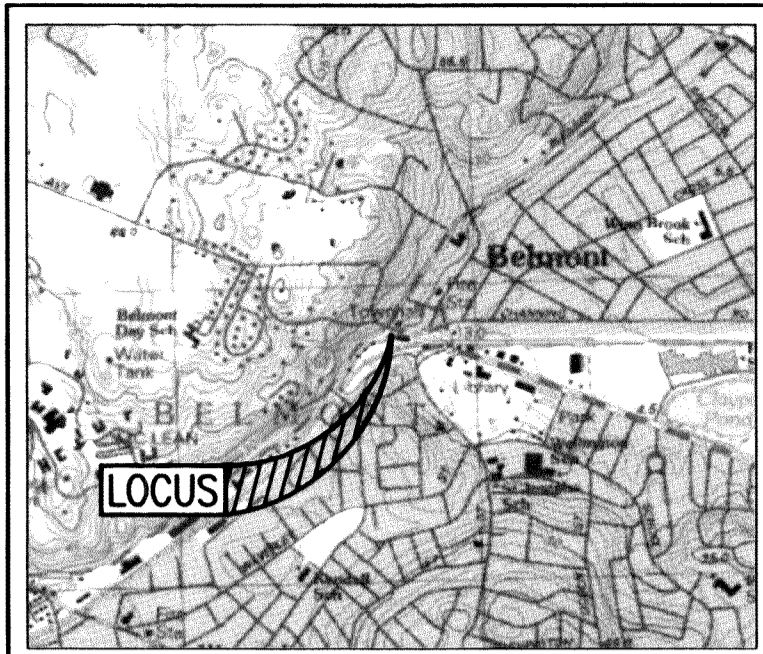
Scale
1/8" = 1'-0"

Drawn By
GRK

Drawing Number

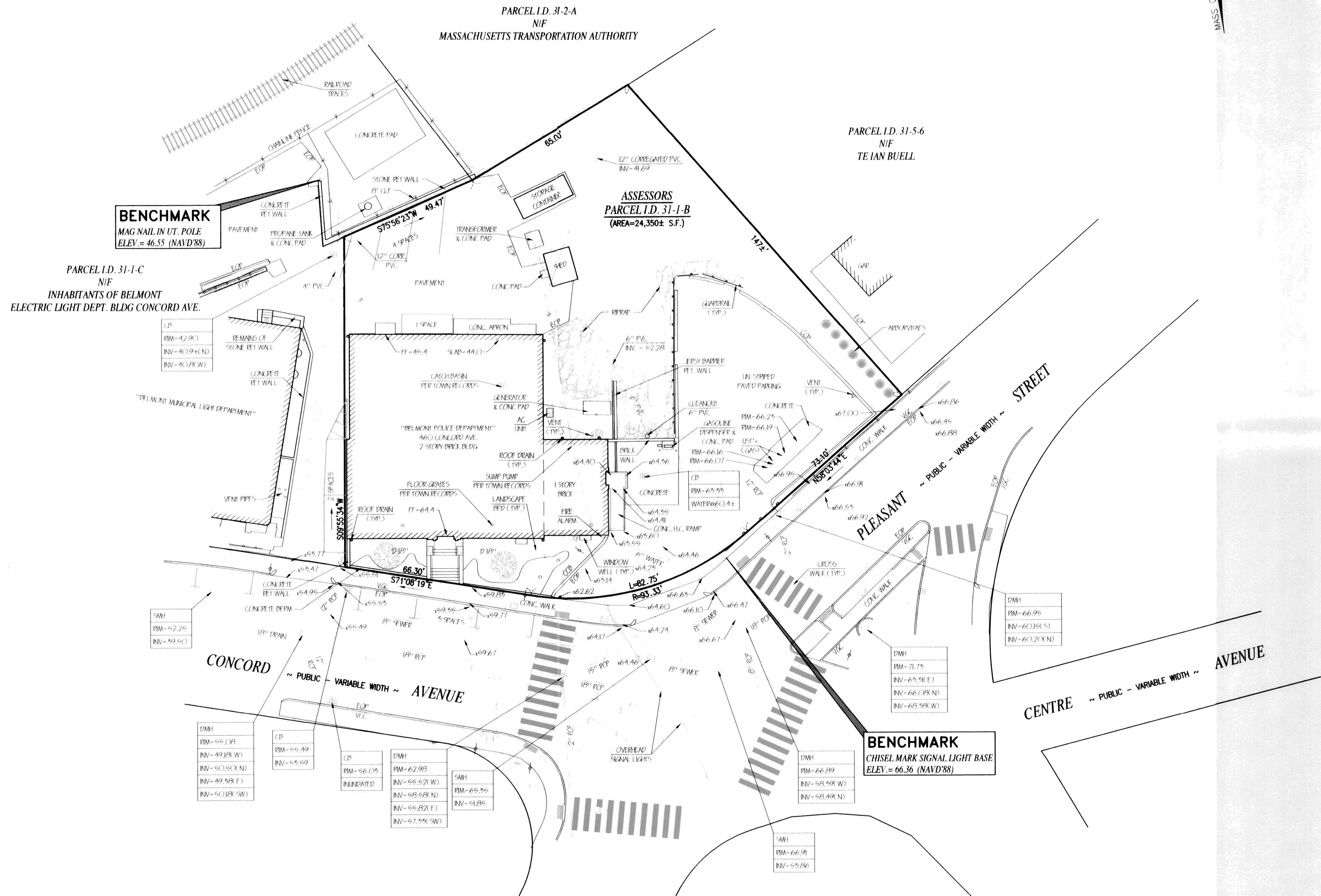
A-202





LOCUS MAP SCALE: 1"=2,000±

LEGEND	
	EXISTING
	DESCRIPTION
	PROPERTY LINE
	CONTOUR LINE
	SPOT ELEVATION
	EDGE OF PAVEMENT
	VERTICAL GRANITE CURB
	VERTICAL CONCRETE CURB
	CAPE COD BERM
	WATER LINE
	GAS LINE
	ELECTRIC, TELEPHONE & CABLE
	OVERHEAD WIRES
	DRAIN LINE
	GRAVITY SEWER
	FENCE
	WOOD GUARDRAIL
	HYDRANT
	WATER GATE
	GAS GATE
	SIGN
	BOLLARD
	LIGHT
	UTILITY POLE
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	ELECTRIC MANHOLE
	WATER METER MANHOLE
	MET W W MANHOLE
	VENT
	ROOF DRAIN
	ELECTRIC HANDHOLE



RECORD OWNER:
 ASSESSORS PARCEL I.D. 31-1-B
 INHABITANTS OF BELMONT, POLICE STATION
 460 CONCORD AVE.
 BELMONT, MA 02478
 DEED BOOK 11968, PAGE 264 (LOT 1A TAKING)

- NOTES:**
1. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN JULY 2018.
 2. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 (NAVD'88) AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).
 3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORD PLANS PROVIDED BY THE BELMONT ENGINEERING DEPARTMENT, THE BELMONT WATER DIVISION AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

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DRAWN BY: KW/CKG
 DESIGNED BY: N/A
 CHECKED BY: BJM

EXISTING CONDITIONS PLAN OF LAND
 460 CONCORD AVENUE
 ASSESSORS PARCEL I.D. 31-1-B
 BELMONT, MASSACHUSETTS
 PREPARED FOR: TOWN OF BELMONT POLICE DEPARTMENT
 460 CONCORD AVE.
 BELMONT, MA

AUGUST 17, 2018
 SCALE: 1"=20'
 JOB NO. 18-631
 LATEST REVISION:

