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2018 JUN -4 AM 10:35

CASE NO. 18-19

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR 2 SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday June 18, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Shant Banosian at 36 Springfield Street located in a General Residence (GR) Zoning District for Two Special Permits under Section 1.5 of the Zoning Bylaw to construct a Front Entrance and a Dormer. Special Permits –**1.** Section 1.5.4 A of the Zoning By-Law allows extensions or alteration to non-conforming structures in the GR zoning district by a Special Permit from the Zoning Board of Appeals and **2.** Minimum required rear setback is 16.0', the existing and proposed rear setbacks are 10.4'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

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TOWN CLERK
BELMONT, MA

2018 JUN -4 AM 10: 35

APPLICATION FOR A SPECIAL PERMIT

Date: 5-7-2018

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 36 Springfield St Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____
Additional Front Entrance per plans supplied

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Shant B

Print Name

Shant Banosian

Address

29 Livermore Rd

Belmont, Ma 02478

Daytime Telephone Number

(617) 827-6674



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

April 24, 2018

Shant Banosian
29 Livermore Road
Belmont, MA 02478

RE: Denial to Construct Front Entrance and Dormer at 36 Springfield Street

Dear Mr. Banosian:


The Office of Community Development is in receipt of your building permit application for the construction of a separate front entrance for the second unit and a dormer on top of your home located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, 1. Section 1.5.4 A of the Zoning By-Law allows extensions or alteration to non-conforming structures in the GR zoning district by a Special Permit from the Zoning Board of Appeals and 2. Minimum required rear setback is 16.0'.

1. The proposed changes to the structure are allowed by a Special Permit.
2. The existing and proposed rear setbacks to your dormer are 10.4'

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.
Inspector of Buildings

Request for a Special Permit

To: The Zoning Board of Appeals
Town of Belmont, Massachusetts

Submitted by: Shant Banosian
Owner of 36 Springfield Street, Belmont, Massachusetts

Dear Board Members,

I propose to add a stair and portico for the lower unit of the two - family building.

The modest addition - containing a 4-foot by 6.17-foot landing with stairs - will conform to the criteria in the Zoning By-Law Section 1.5.4.A (Nonconforming Single and Two-Family Residential Structures).

The addition will also conform to Section 6.D.4.b (Performance Standards in General Residence Zoning Districts), where the front doors for each of the dwelling units are required to face the street. At present both front entry doors open into a small vestibule at a right angle with respect to each other.

Earlier this year I obtained a building permit for renovations and an addition to make a portion of the attic space habitable. As the renovations progressed I realized that making the front entrances conformant to Section 6.D.4.b will also improve the functionality of the two-family building.

The addition will improve egress for the occupants of both units by eliminating the bottleneck at the existing vestibule. It will also enhance the street-facing facade by visually separating the entrances and by providing a balanced streetscape for the building as a whole.

The proposed addition will not add any gross floor area to the building.

I would like to thank the Zoning Board of Appeals for considering my request for a Special Permit.

Respectfully,

Shant Banosian

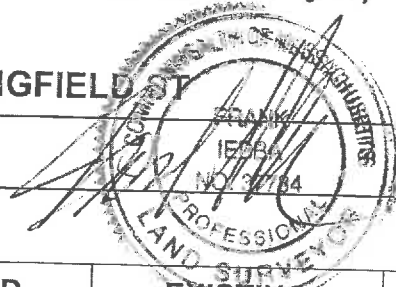
Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 36 SPRINGFIELD ST

Zone: GR

Surveyor Signature and Stamp: _____



Date: 7 May 18

	REQUIRED	EXISTING	PROPOSED
Lot Area		4500	4500
Lot Frontage		60	60
Floor Area Ratio		(2714)0.60	(2930)0.65
Lot Coverage		29.5	30.0
Open Space		54.7	54.7
Front Setback	20	15.6	16.0
Side Setback	10	21.4	29.7
Side Setback	10	5.0	10.1
Rear Setback	20	5.5	10.4
Building Height		29.3	29.3
Stories		2.5	2.5
1/2 Story Calculation			
B.O. RAFTER @ > 3'	LESS THAN 50.00%	32.01%	41.67%
HEADROOM @ > 5'	LESS THAN 60.00%	37.11%	52.13%
DORMER VS ROOF	LESS THAN 75.00%	8.84%	DORMER #1: 34.09% DORMER #2: 47.95%
2ND FLR HEIGHT	LESS THAN 12.0'	8.1'	UNCHANGED

NOTES:

AREA: 4500 Sq. Feet

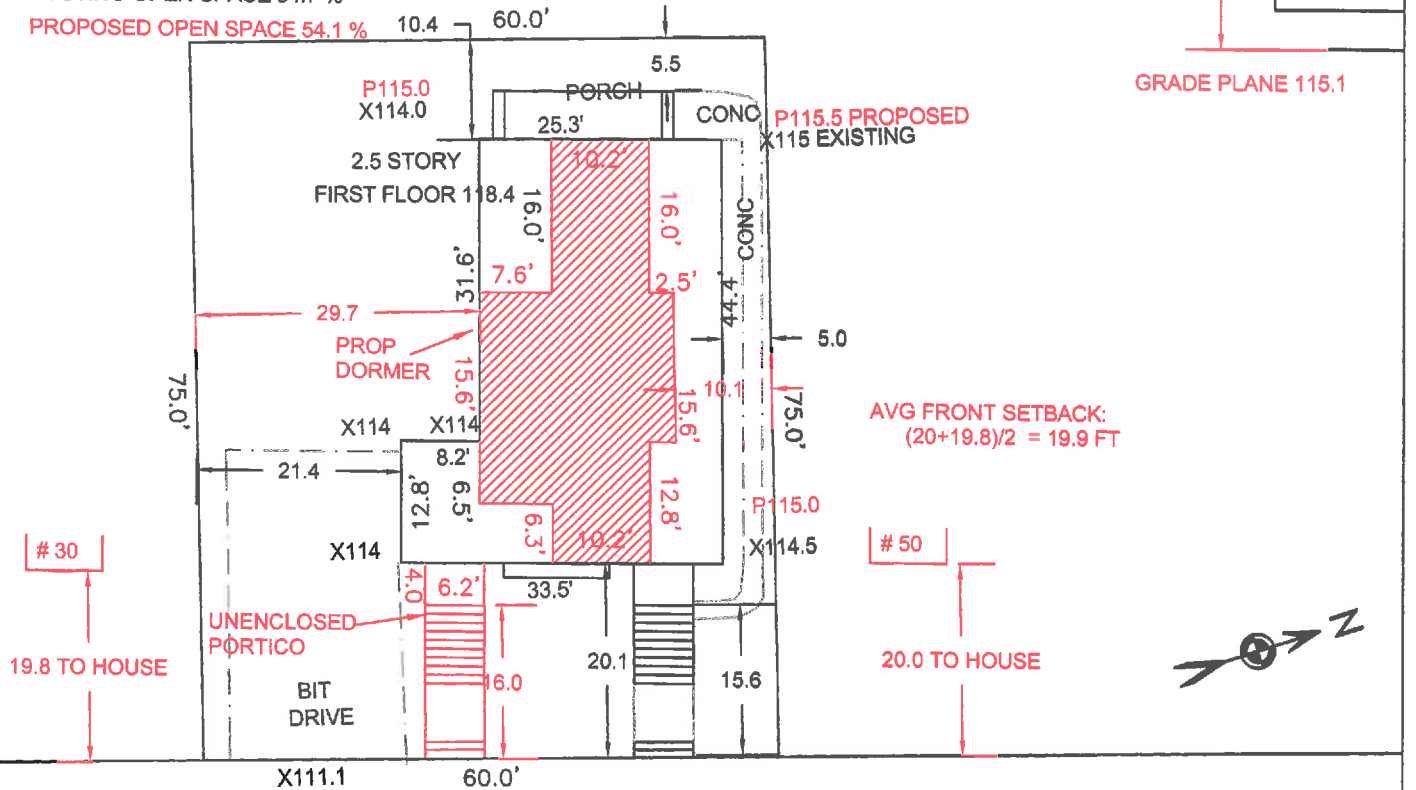
EXISTING GRADE PLANE: 114.4
 $= (114.5(25.3)+114.7(44.4)+114.3(33.5)+114(21)+114(31.6))/155.2$

PROPOSED GRADE PLANE: 115.1
 $= (115.3(25.3)+115.3(44.4)+114.5(33.5)+114(21)+114.5(31.6))/155.2$

PROPOSED CELLAR IS 69 % BELOW GRADE
 $= 100((7.5-(117.4-115.1)/7.5)$

EXISTING LOT COVER 29.5 %
 PROPOSED LOT COVER 30.0 %

EXISTING OPEN SPACE 54.7 %
 PROPOSED OPEN SPACE 54.1 %



SPRINGFIELD STREET

GR ZONE

	REQUIRED	PROVIDED
FRONT SETBACK	20'	10.7 AVG ((6.8+14.6)/2)
SIDE SETBACK	10'	13.4'
REAR SETBACK	20'	23.8'

PROPOSED DORMER ADDITION
 36 SPRINGFIELD STREET

BELMONT, MA

SCALE: 1 IN = 20 FT

DEC 3, 2017

JAN 30, 2018

MAR 8, 2018

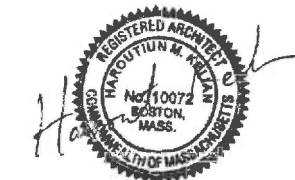
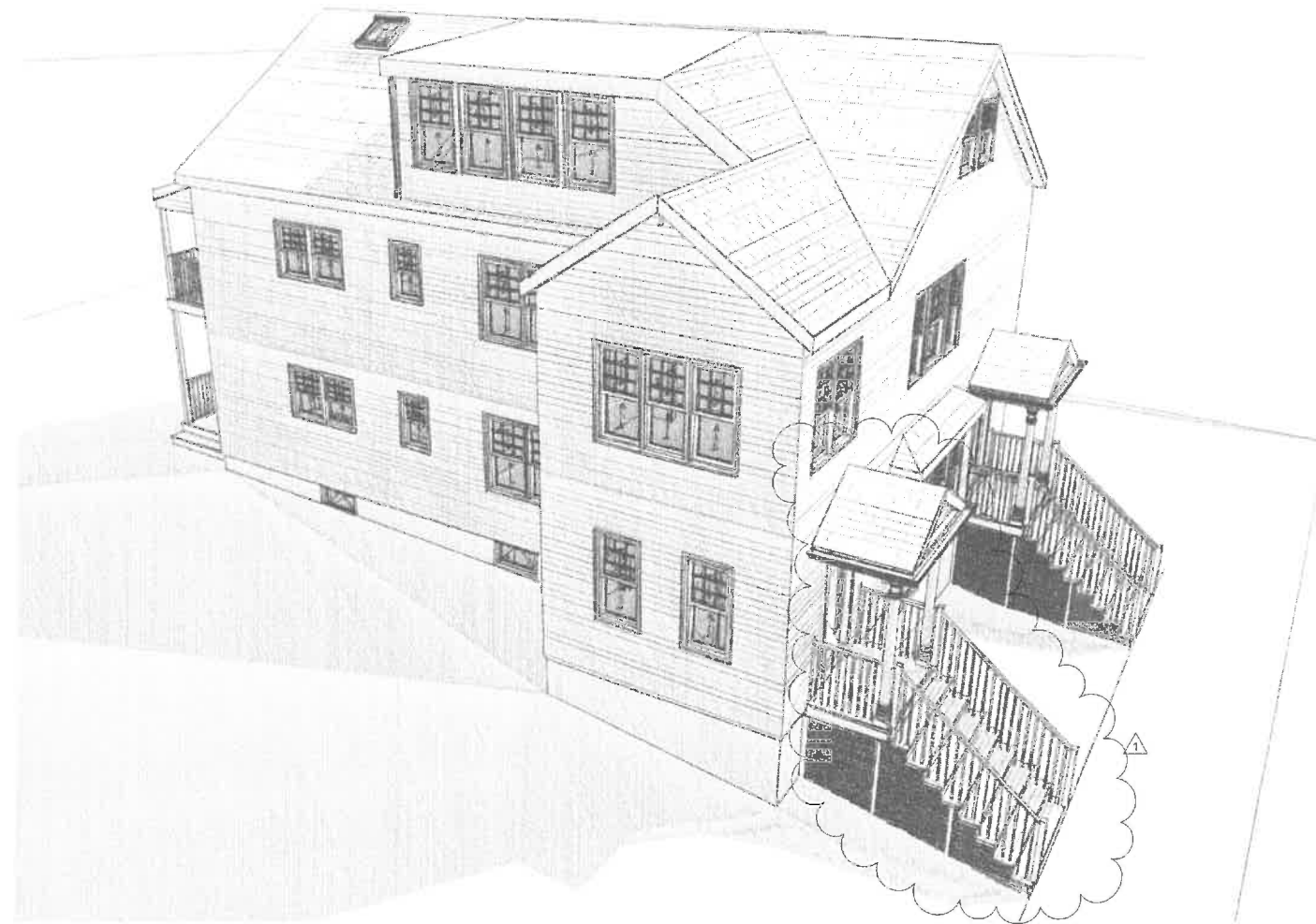
MAY 20, 2018



ESSEX ENG. & SURVEY
 PO BOX 650217
 WEST NEWTON, MA. 02465

617-797-7342

FRANK.IEBBA@GMAIL.COM



RENOVATIONS AND ADDITIONS TO 36 SPRINGFIELD STREET

BELMONT, MA 02478

PERMIT APPLICATION - 5/3/2018



ARCHITECT:
HAROUT KELIAN, ARCHITECT
 21 HARVARD RD,
 BELMONT, MA 02478
 TEL : 617-932-9270

OWNER
SHANT BANOSIAN
 36 SPRINGFIELD ST
 BELMONT, MA 02478

ZONING DISTRICT: GENERAL RESIDENTIAL

MIN LOT AREA: 5,000 SF
 MIN LOT FRONT: 50 F
 MAX LOT COVERAGE: 30%
 MIN OPEN SPACE: 40%

SETBACKS FRONT: 20 F
 SIDE: 10 F
 REAR: 20/12 F DWELLING/OTHER

MAX BLDG HT: 33 F / 2.5 STORIES

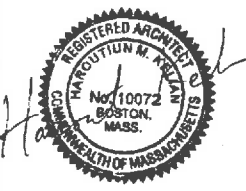
SHEET INDEX

SHEET	NAME
GENERAL	COVER SHEET
ARCHITECTURAL FLOOR PLANS	
A-101	FIRST FLOOR PLAN & BUILDING ENVELOPE WALL SECTION
A-102	SECOND FLOOR AND ATTIC/HALF-STORY FLOOR PLANS
A-103	CELLAR AND ROOF PLANS
ELEVATIONS	
A-201	EAST (FRONT) AND SOUTH ELEVATIONS
A-202	NORTH AND WEST ELEVATIONS

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 FAX: 617-934-2472
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 617-993-2888



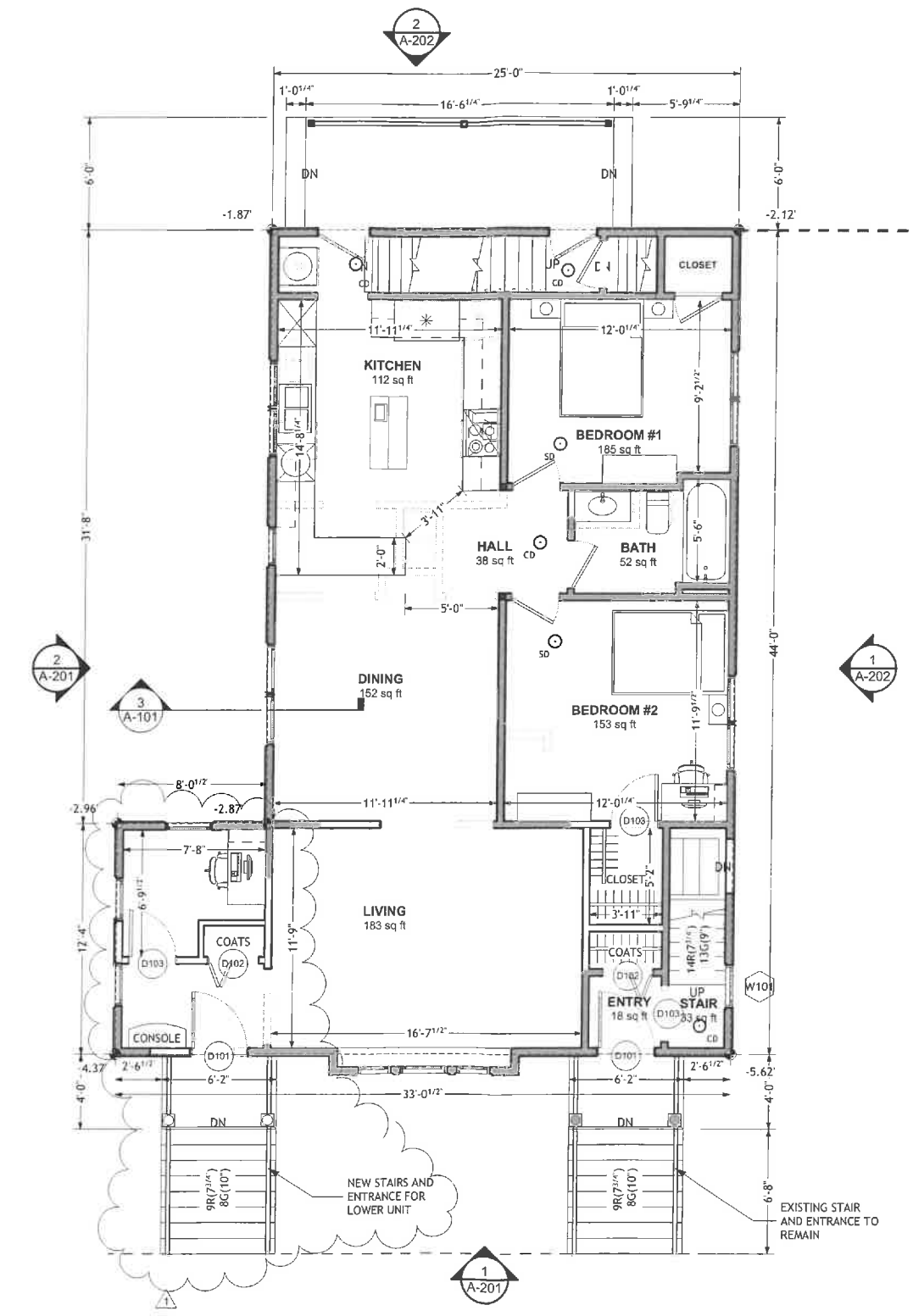
RENOVATIONS AND ADDITIONS TO 36 SPRINGFIELD STREET
 36 SPRINGFIELD ST BELMONT MA 02478

Issue
 DESIGN REVIEW - 10/07/2017
 DESIGN REVIEW - 10/11/2017
 BUILDING PERMIT SUBMISSION - 1/8/2018
 REFERENCE TO 9TH EDITION - MASS BUILDING CODE - 1/15/2018
 BUILDING PERMIT SUBMISSION - 1/23/2018
 PERMIT APPLICATION - 5/3/2018

FIRST FLOOR PLAN & BUILDING ENVELOPE WALL SECTION

Sheet Title
A-101

Scale
 Project No. **17-022**
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1 FIRST FLOOR
 SCALE: 3/16" = 1'-0"



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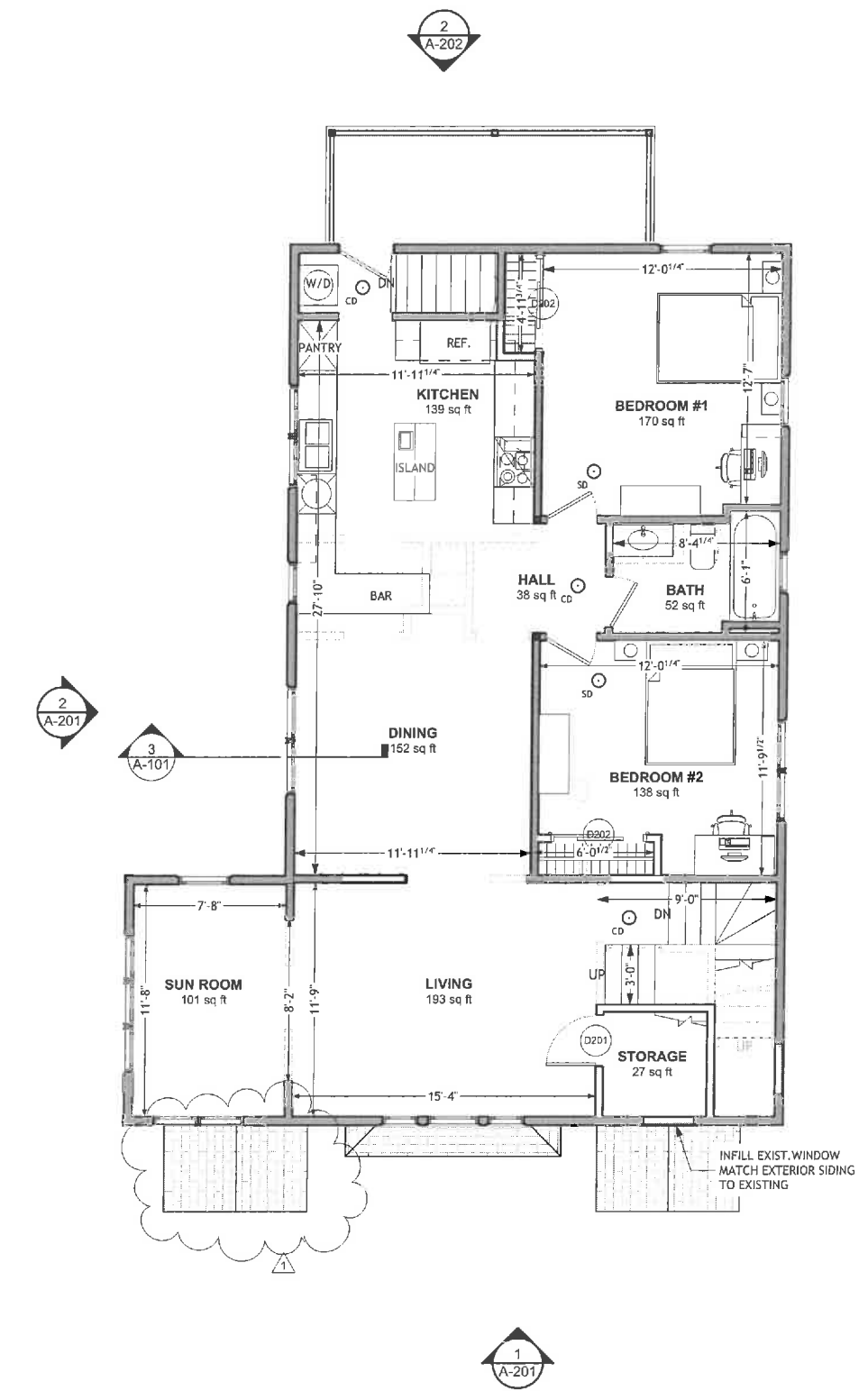
RENOVATIONS AND ADDITIONS TO 36 SPRINGFIELD STREET
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 BUILDING PERMIT SUBMISSION - 1/23/2018
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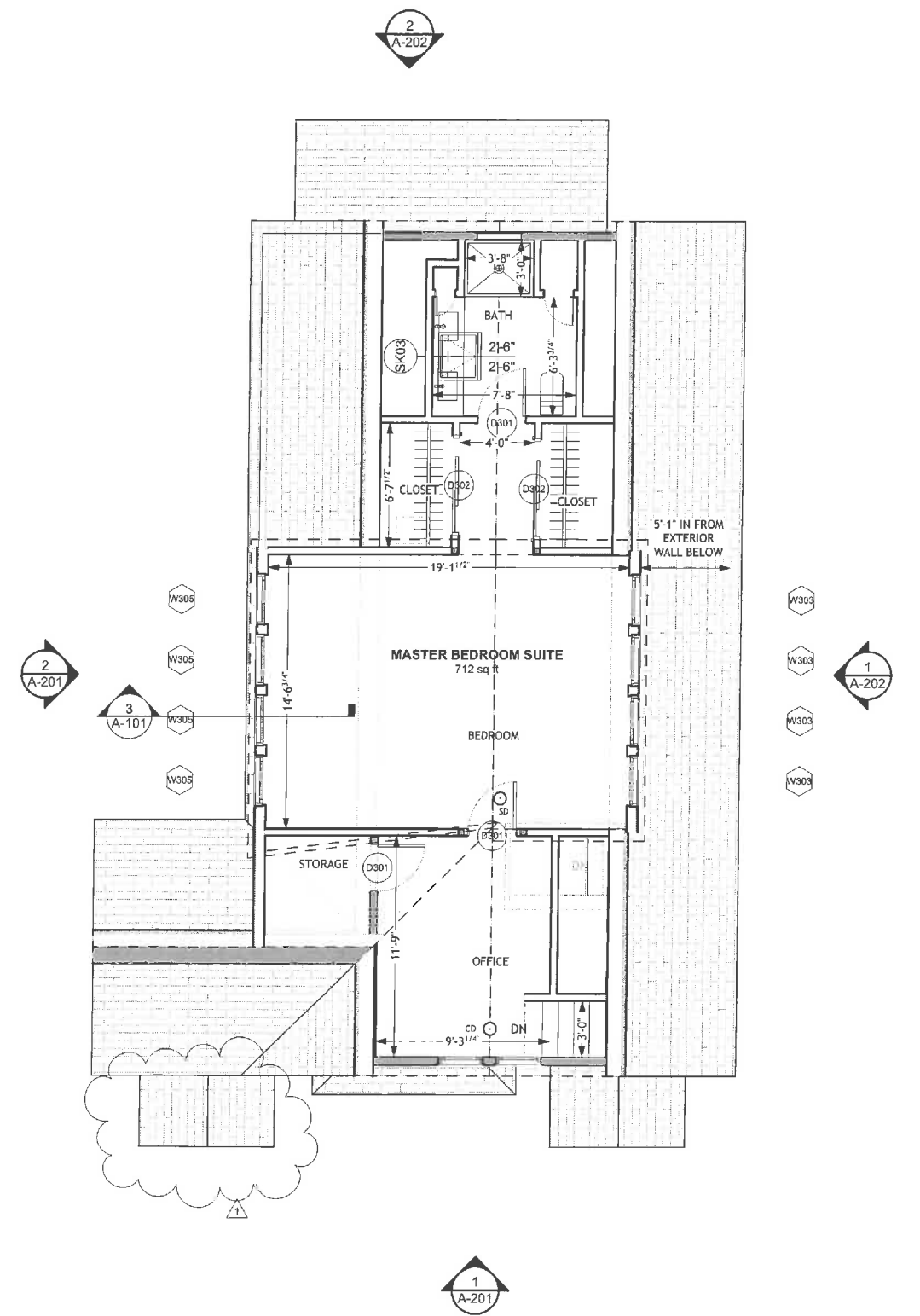
SECOND FLOOR AND ATTIC/HALF-STORY FLOOR PLANS

Sheet No. **A-102**

Project No. 17-022
 Scale
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2 SECOND FLOOR
 SCALE: 3/16" = 1'-0"



1 ATTIC/HALF-STORY
 SCALE: 3/16" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING CONDITIONS
- DEMOLISHED ITEMS
- NEW CONSTRUCTION

N



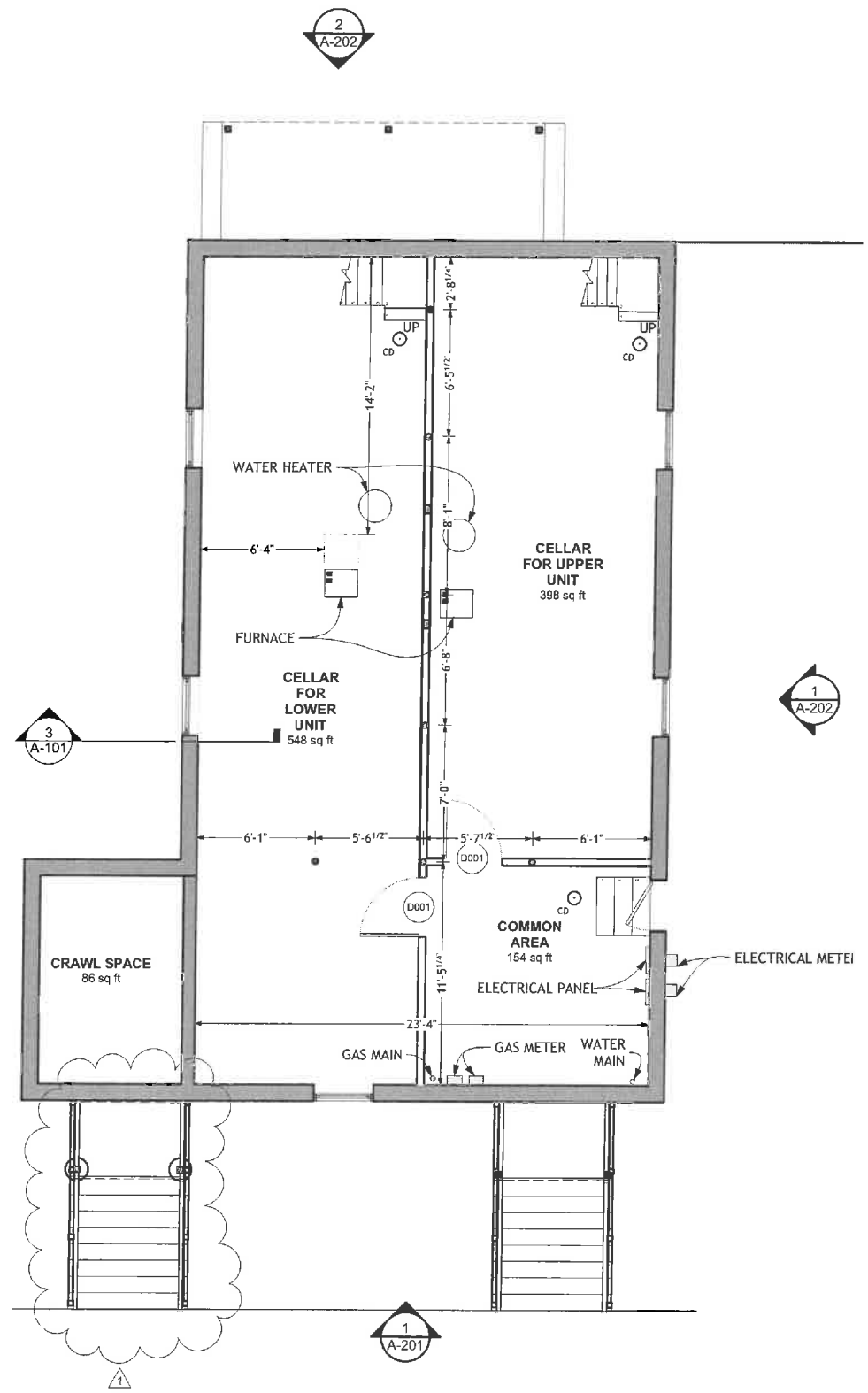
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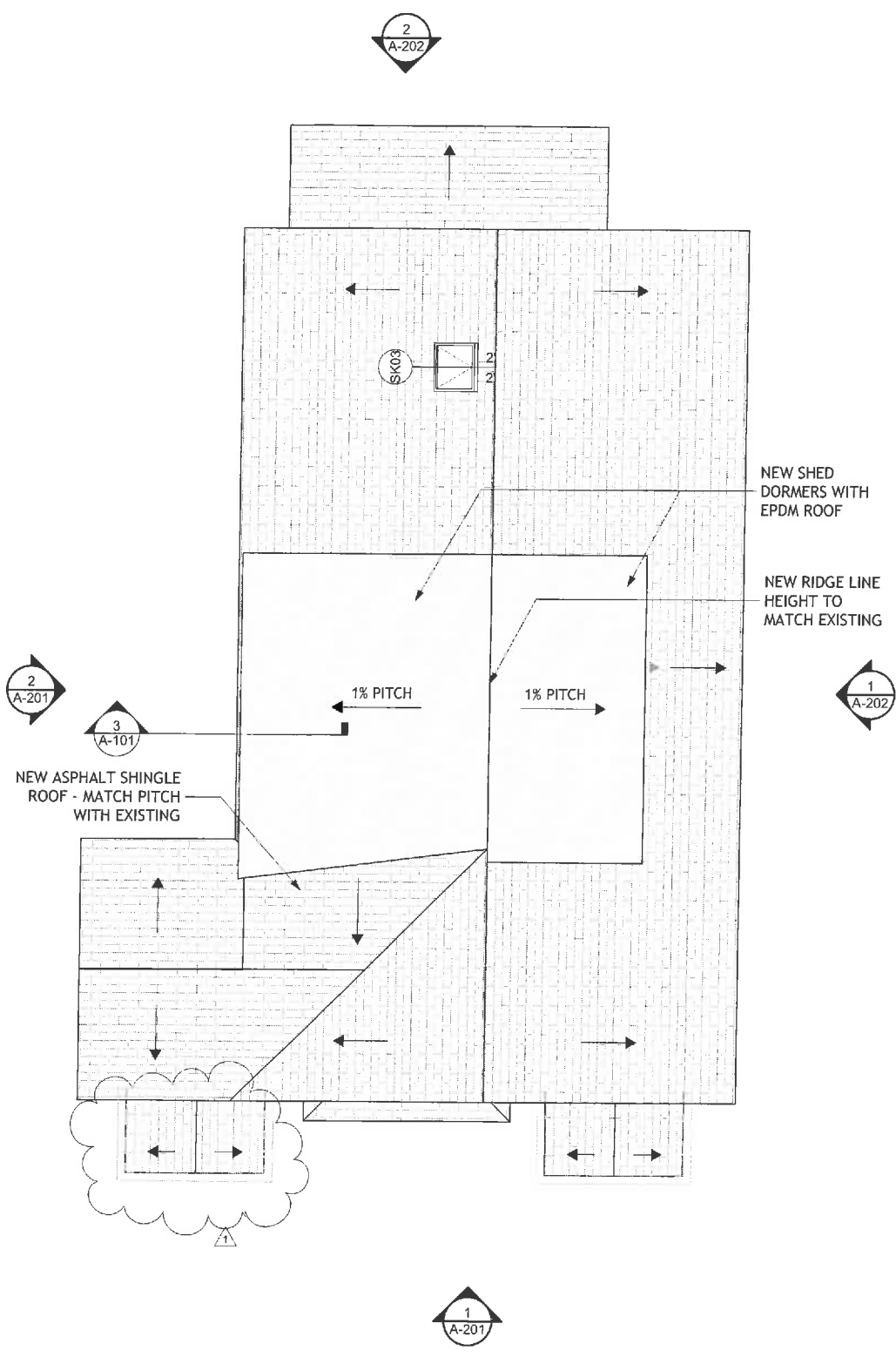
CELLAR AND ROOF PLANS

Sheet Title
A-103
 Scale
 Project No. 17-022

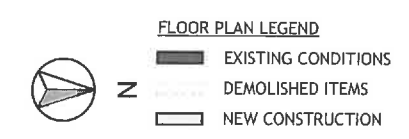
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2 CELLAR
 SCALE: 3/16" = 1'-0"



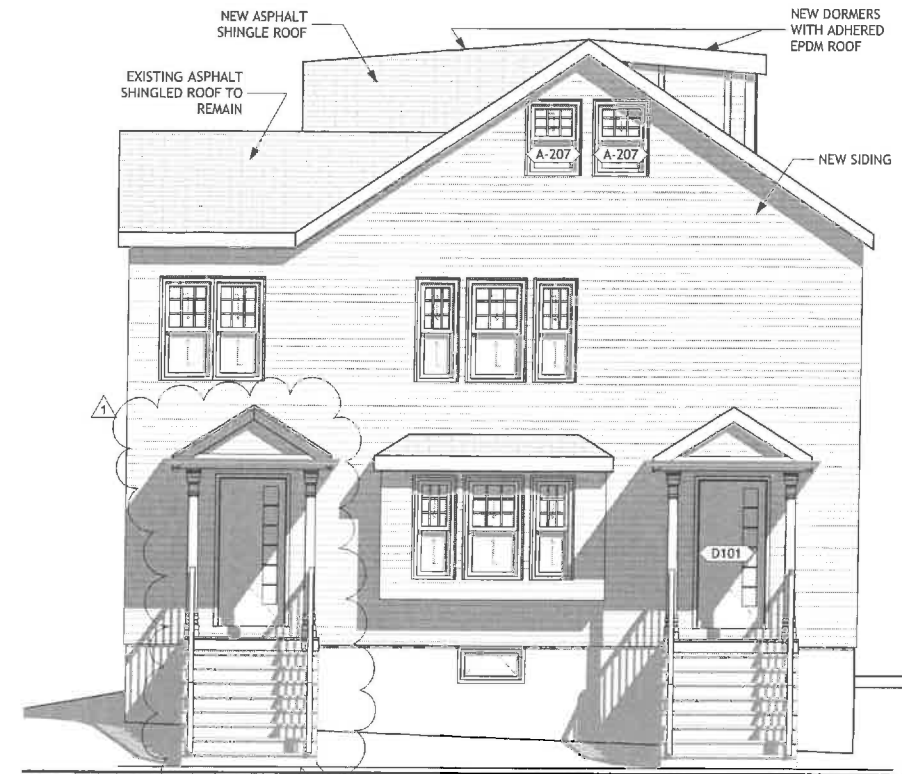
1 ROOF
 SCALE: 3/16" = 1'-0"



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4 PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 PROPOSED EAST (FRONT) ELEVATION
SCALE: 3/16" = 1'-0"



2 EXISTING SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

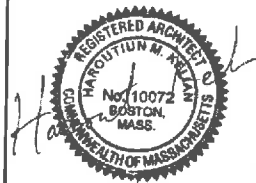


1 EXISTING EAST (FRONT) ELEVATION
SCALE: 3/16" = 1'-0"

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OWNER / GENERAL CONTRACTOR:
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RENOVATIONS AND ADDITIONS TO 36 SPRINGFIELD STREET
36 SPRINGFIELD ST BELMONT MA 02478

Issue
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BUILDING PERMIT SUBMISSION - 1/23/2018
1 PERMIT APPLICATION - 5/3/2018

EAST (FRONT) AND SOUTH ELEVATIONS

Sheet Title

A-201

Sheet No.

Scale

Project No. 17-022

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RENOVATIONS AND ADDITIONS TO 36 SPRINGFIELD STREET
 36 SPRINGFIELD ST BELMONT MA 02478

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 BUILDING PERMIT SUBMISSION - 1/23/2018
 PERMIT APPLICATION - 5/3/2018

NORTH AND WEST ELEVATIONS

Sheet Title

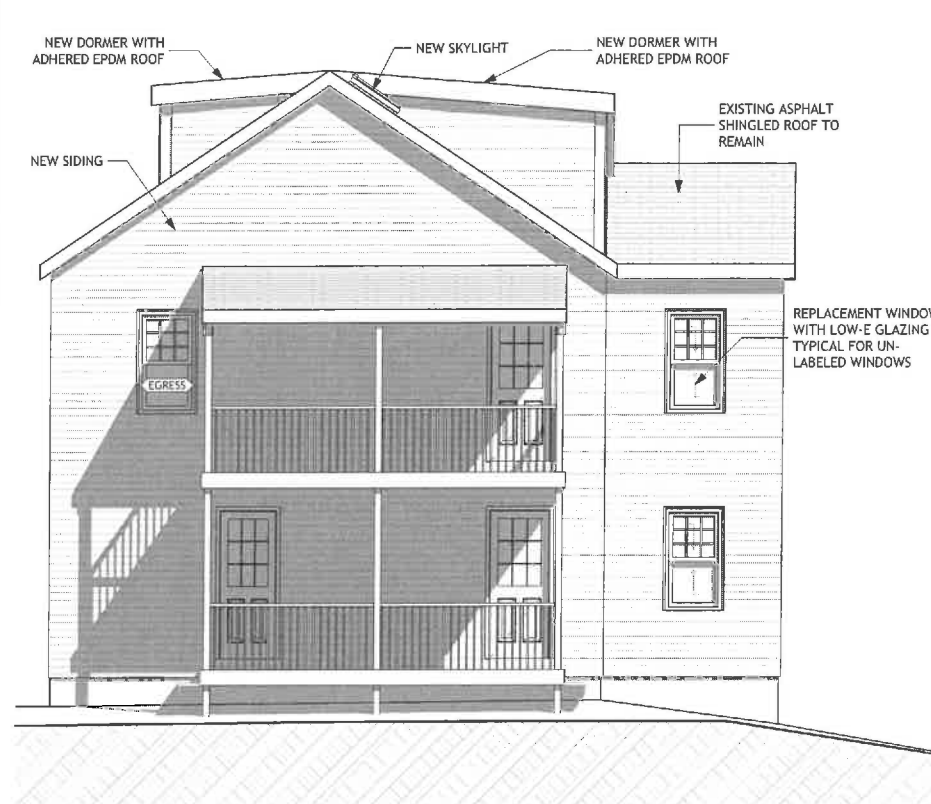
A-202

Sheet No.

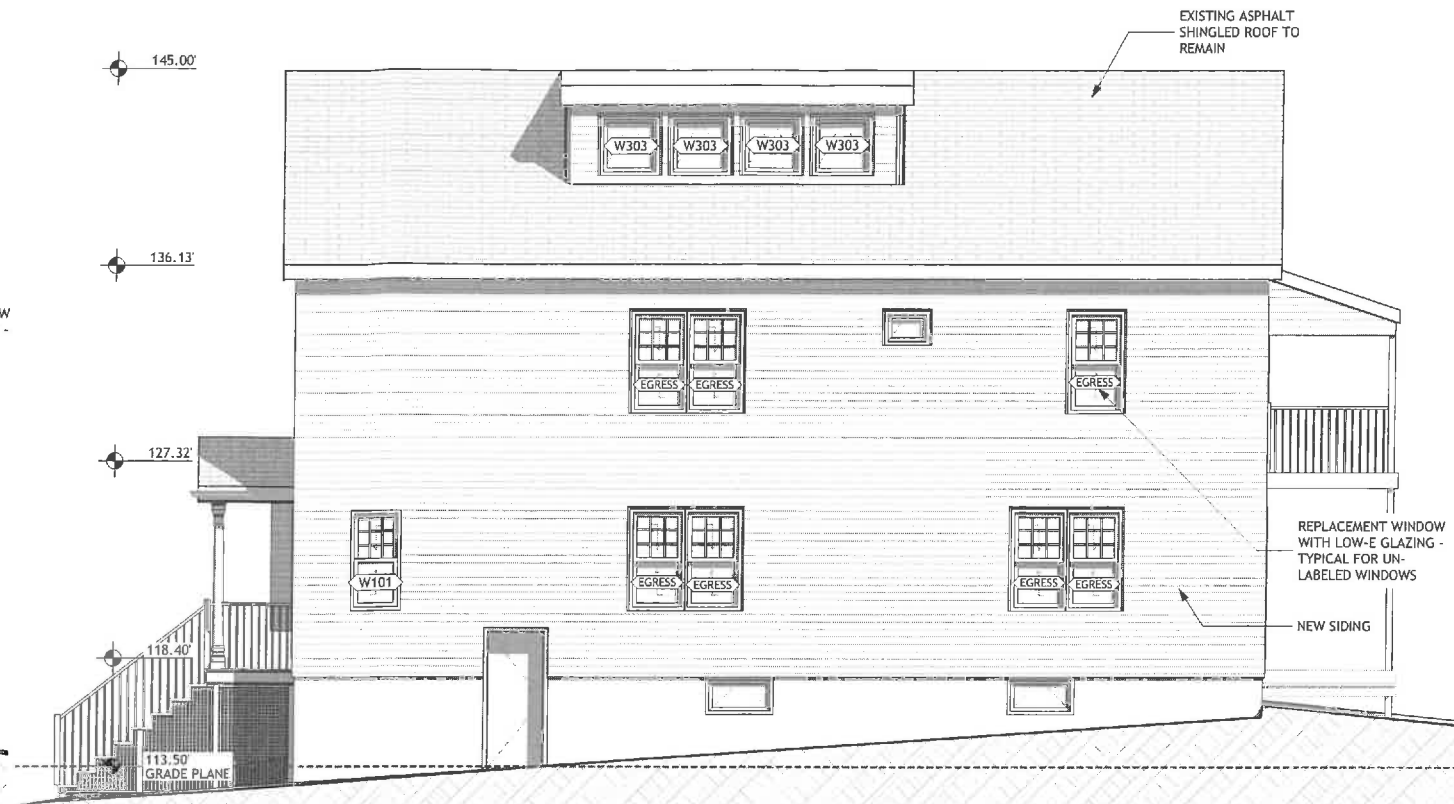
Scale

Project No. **17-022**

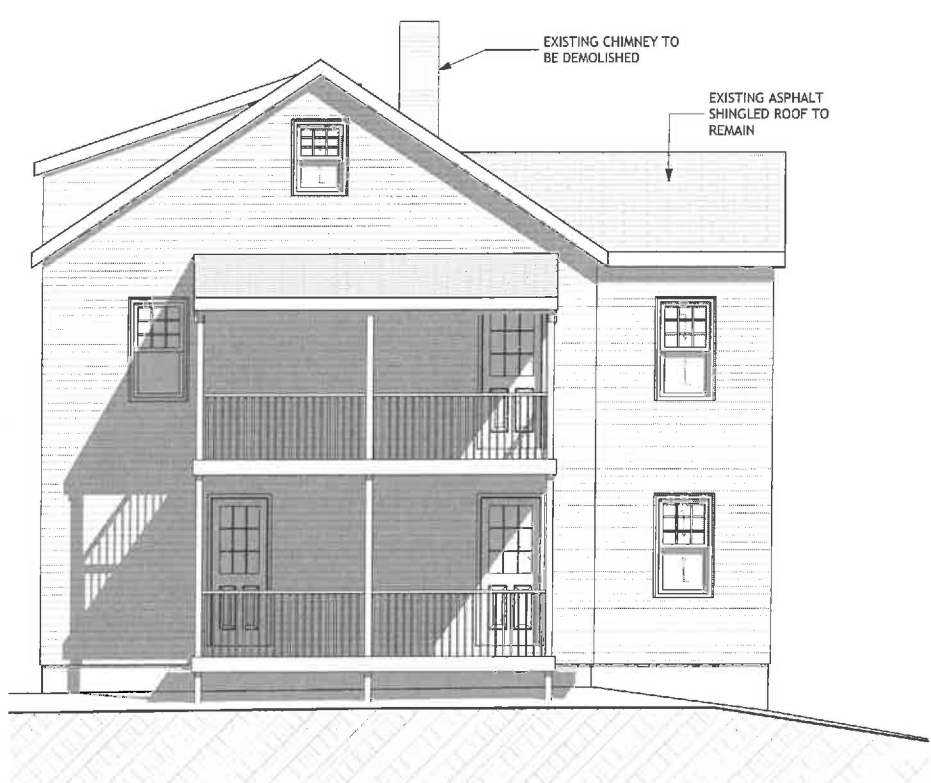
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4 PROPOSED WEST ELEVATION
 SCALE: 3/16" = 1'-0"



3 PROPOSED NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 EXISTING WEST ELEVATION
 SCALE: 3/16" = 1'-0"



1 EXISTING NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

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