

**NOTICE OF PUBLIC HEARING BY THE  
HISTORIC DISTRICT COMMISSION**

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

Notice is hereby given that the Belmont Historic District Commission will hold a public hearing on **THURSDAY, November 12, 2020 at 7:00 PM** via remote access\*, to consider the application of Subbiah and Nancy Doraiswami for a **CERTIFICATE OF APPROPRIATENESS** in order to remove and replace siding on the garage, add a side door to the garage, and replace siding and trim on one side of the house at 560 Pleasant Street, located in the Pleasant Street Historic District.

**Belmont Historic District Commission**

\* Application submittals, meeting agenda and instructions on remote access can be found on the Town's website <https://www.belmont-ma.gov/historic-district-commission>



Town Belmont  
 Historic District Commission  
 Homer Municipal Building, 2nd Floor  
 19 Moore Street  
 Belmont, MA 02478

OFFICE USE
Case Number: HDC -

**APPLICATION**

In accordance with the Historic Districts Act, MGL Ch 40C, and the Town of Belmont General Bylaws, §40-315, the undersigned applies to the Belmont Historic District Commission for a Certificate of:

- Appropriateness
- Non-Applicability
- Hardship

**1. PRELIMINARY INFORMATION:**

Address of Property: 560 PLEASANT ST. BELMONT, MA  
 Property Owner's Name: SUBBIAH + NANCY DORAISWAMI  
 Address: 560 PLEASANT ST. BELMONT, MA  
 Email: ndoraishw@bidmc.harvard.edu Phone: 617-710-6728

Agent Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Email: \_\_\_\_\_ Phone: \_\_\_\_\_

- I am the:  Property Owner \_\_\_\_\_ Agent \_\_\_\_\_  
 Property is Owned by a Corporation, LLC, or Trust (Submit authorization to sign as owner)  
 Property is a Condominium or Cooperative Association (submit authorization to sign as trustee)

If applicable: Architect: \_\_\_\_\_ Contractor: PAGANINI CONSTRUCTION INC.  
215 PARK ST. STONEHAM  
781-727-7461

**2. BRIEF DESCRIPTION OF PROPOSED WORK:**

- REPLACE SIDING AND TRIM ON ALL SIDES OF GARAGE.  
ADD A SIDE DOOR INTO THE YARD
- REPLACE SIDING AND WATER TABLE TRIM ON LEONARD ST. FACADE OF HOUSE

**3. SIGNATURES:**

As Owner, I make the following representations:

- A. I hereby certify that I am the Owner of the Property at: 560 PLEASANT ST.
- B. I hereby certify that if an Agent is listed on this Application, this Agent has been authorized to represent this Application before the Belmont Historic District Commission.

Owner: Nancy Doraiswami [Signature] Date: 10.28.20

As Applicant/Agent, I make the following representations:

- 1. The information supplied on and in this Application is accurate to the best of my knowledge;
- 2. I will make no changes to the approved plans without prior approval from the Belmont Historic District Commission.

Applicant/Agent: [Signature] Date: \_\_\_\_\_

\* Incomplete applications and Insufficient documentation will not be accepted. \*

## SCOPE OF WORK TO BE DONE AT 560 PLEASANT STREET

### - GARAGE

The garage we want to perform the work on is located on Leonard street, and it is within the property of 560 Pleasant Street.

Currently the siding, corner boards and window trim on all sides are rotting. The scope of the work is to strip all the existing siding and trim and replace with cedar siding 4" exposure and cedar trim around the windows and garage door to match existing. The siding and trim will be painted to match the colors of the main house and they were chosen from the Benjamin Moore Historical colors palette, please refer to the specs. page for reference.

We are also adding an exterior fiberglass door on the right façade, not visible from the street.

The current state of the garage is in deterioration. If nothing is done the siding will keep rotting causing moisture and water infiltration inside the garage. The improvements we propose will not affect the abutters, since the size and location of the garage is to remain unchanged.

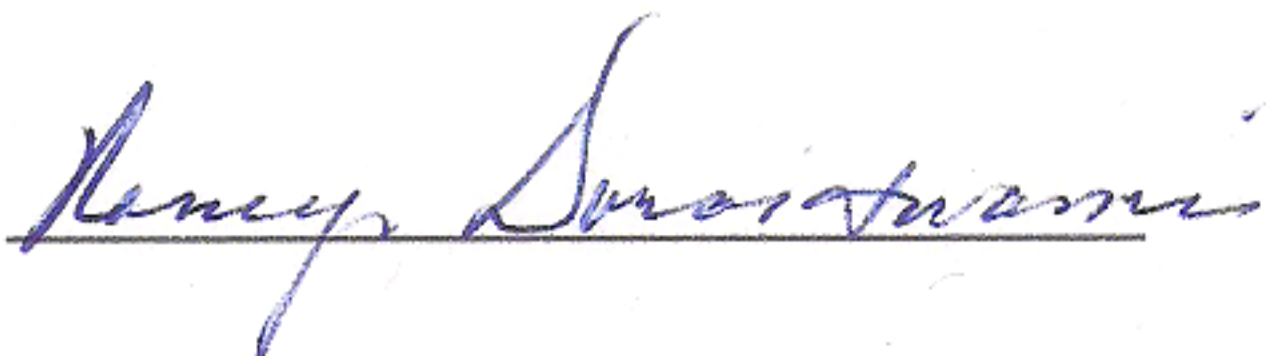
### - HOUSE

In regard to the work planned for the Leonard St. façade of the house, we plan to replace the clapboard siding and water table trim with cedar wood. The exposure of the clapboard and the size of the water table trim are to remain unchanged. They will be painted to match the existing colors.

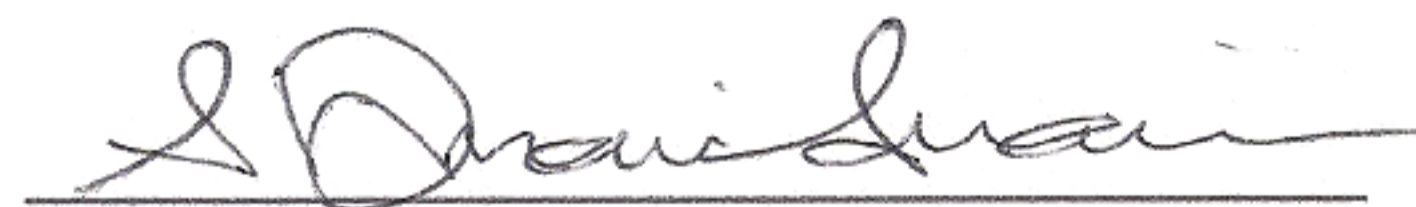
This project meets the goals, objectives and standards of The Design Guidelines for Belmont Historic District because:

- Material: we are using cedar wood siding and trim (clapboard exposure to match main house's)
- Color: we are matching the main house colors for both siding and trim and are picking them from the Benjamin Moore historical palette.
- The proposed fiberglass door will be painted to match the trim color, and it will not be visible from the street.

Nancy Doraiswami



Subbiah Doraiswami



# Replace Siding and add a new door at the Garage at: 560 Pleasant Street Belmont, MA 02478

## DRAWING LIST:

---

T1.1 - Title Sheet

## SITE

## LOT PLAN

D1.1 - Existing/Demo Garage Plan

D2.1 - Existing/Demo Garage Elevations

D2.1 - Existing/Demo Garage Elevations

A1.1 - Proposed Garage Plan

A2.1 - Proposed Garage Elevations

A2.2 - Proposed Garage Elevations

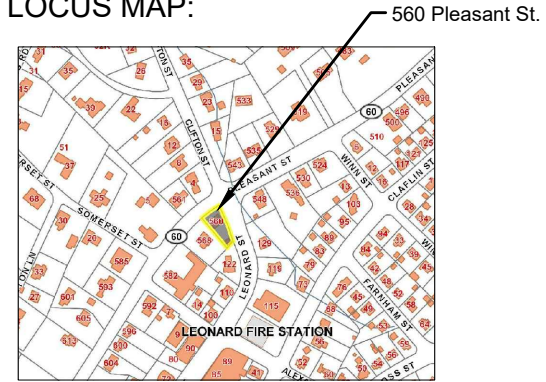
A3.1 - Specs.

A4.1 - Existing pictures

A4.2 - Existing pictures

A4.3 - Existing pictures

## LOCUS MAP:



DATE: 10/28/2020  
SCALE: N.T.S.  
FILE: garage

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

TITLE SHEET

T1.1

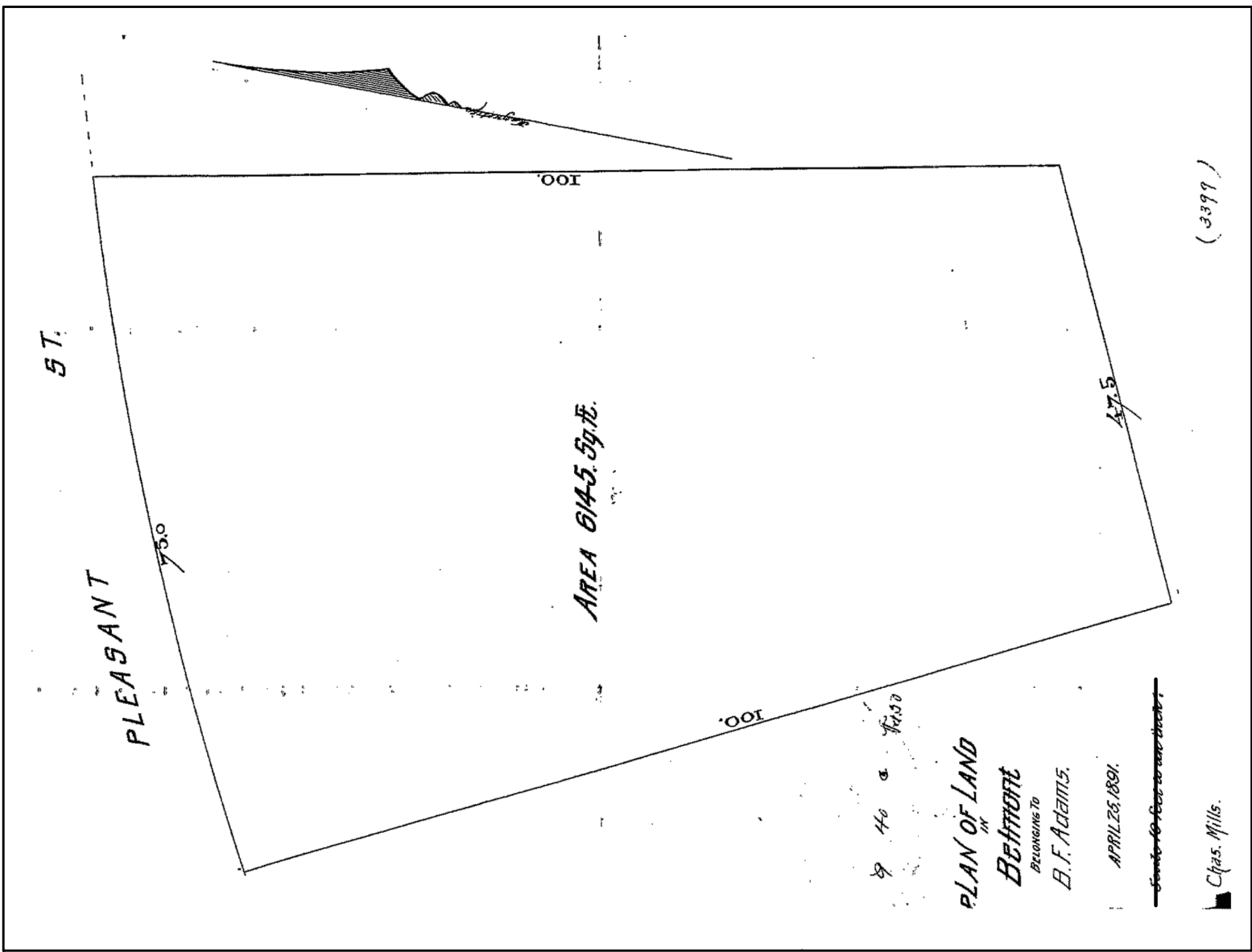


1

Town Plan

Scale 1/64"=1'-0"

DATE: 10/28/2020 SCALE: 1/64" = 1'-0" FILE: garage	Nancy & Subbiah Doraiswami 560 Pleasant St. Belmont, MA		SITE PLAN . . <b>SITE</b>
--	---	--	------------------------------------



1

Lot Plan

Scale 1/16"=1'-0"

LOT PLAN

LOT

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

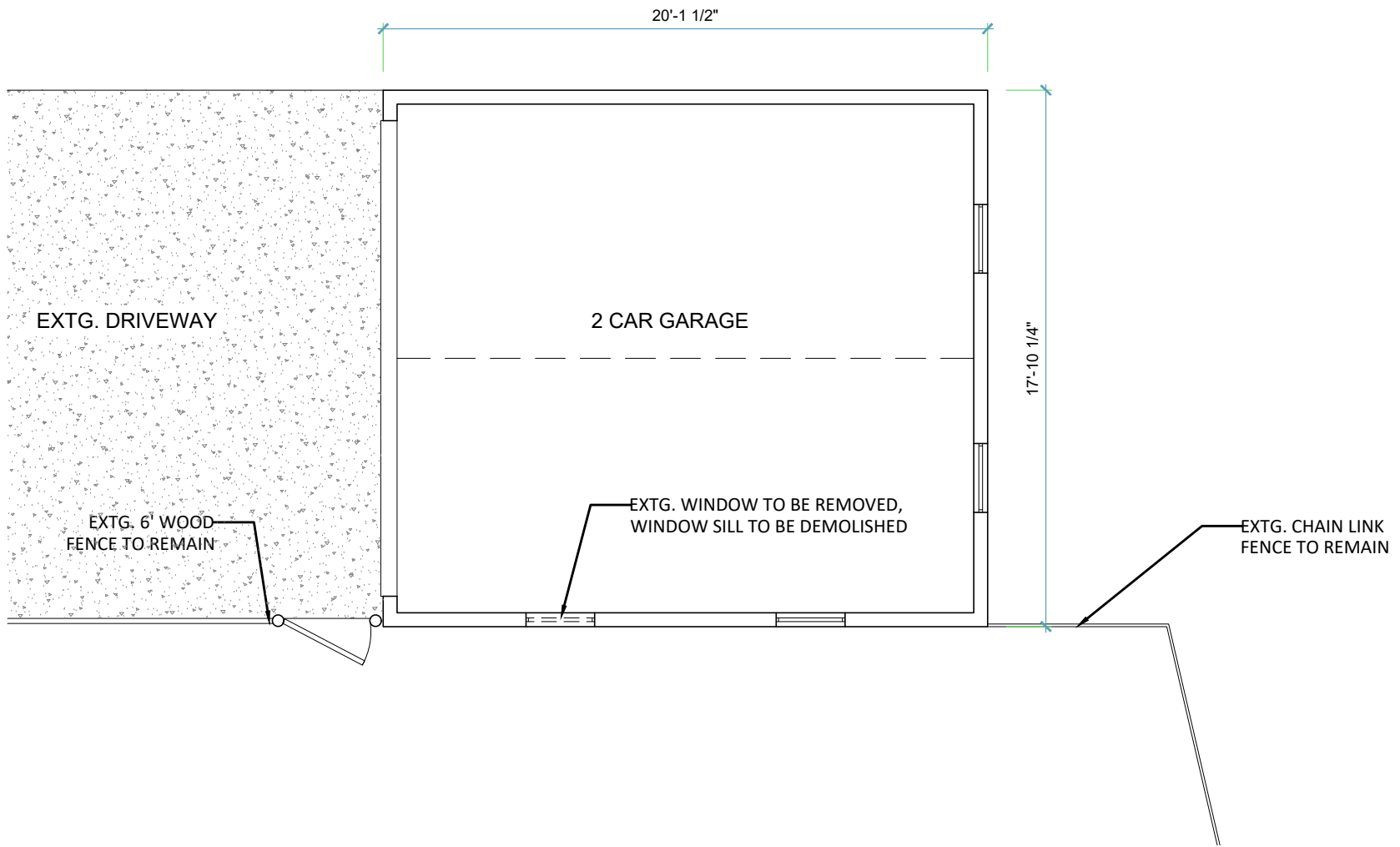
DATE: 10/28/2020  
SCALE: 1/16" = 1'-0"  
FILE: garage

DATE: 10/28/2020  
SCALE: 1/4" = 1'-0"  
FILE: garage

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

GARAGE PLAN  
EXTG/DEMO PLAN

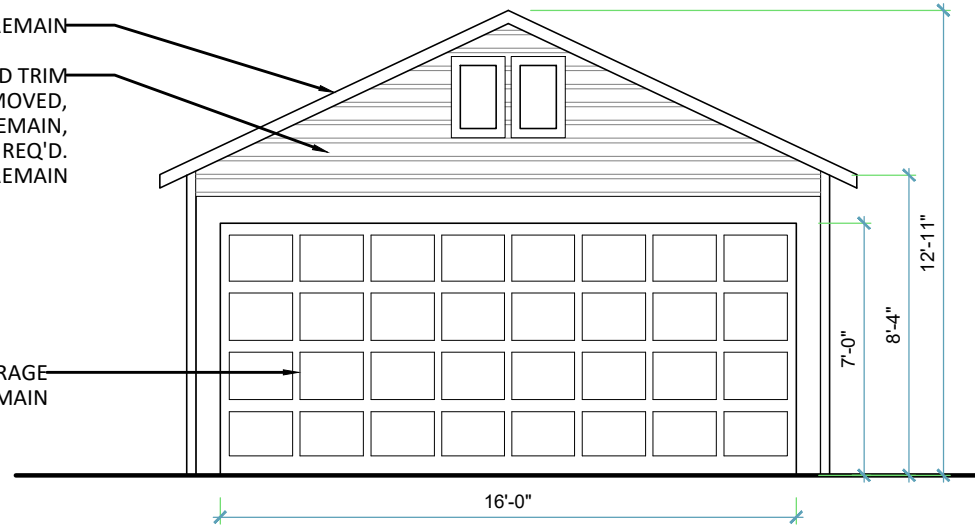
D1.1



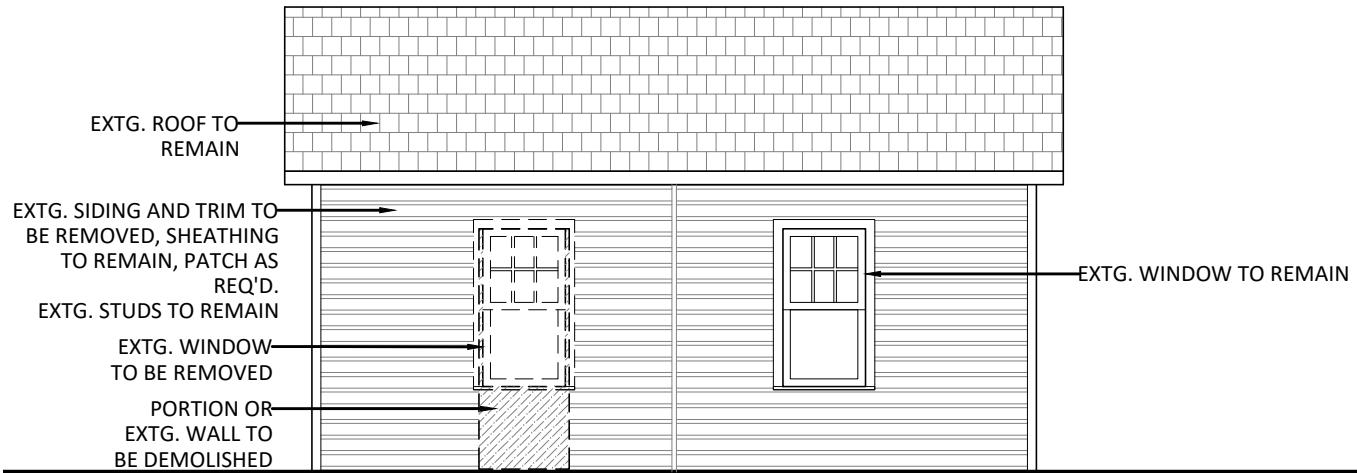
1 Garage Plan  
Scale 1/4"=1'-0"

EXTG. ROOF TO REMAIN  
 EXTG. SIDING AND TRIM  
 TO BE REMOVED,  
 SHEATHING TO REMAIN,  
 PATCH AS REQ'D.  
 EXTG. STUDS TO REMAIN

EXTG. GARAGE  
 DOOR TO REMAIN



1 Front Elevation on Leonard St.  
 Scale 1/4"=1'-0"



2 Right Side Elevation to Yard  
 Scale 1/4"=1'-0"

DATE: 10/28/2020  
 SCALE: 1/4" = 1'-0"  
 FILE: garage

Nancy & Subbiah Doraiswami  
 560 Pleasant St.  
 Belmont, MA

ELEVATIONS  
 EXTG/DEMO elev.

D2.1

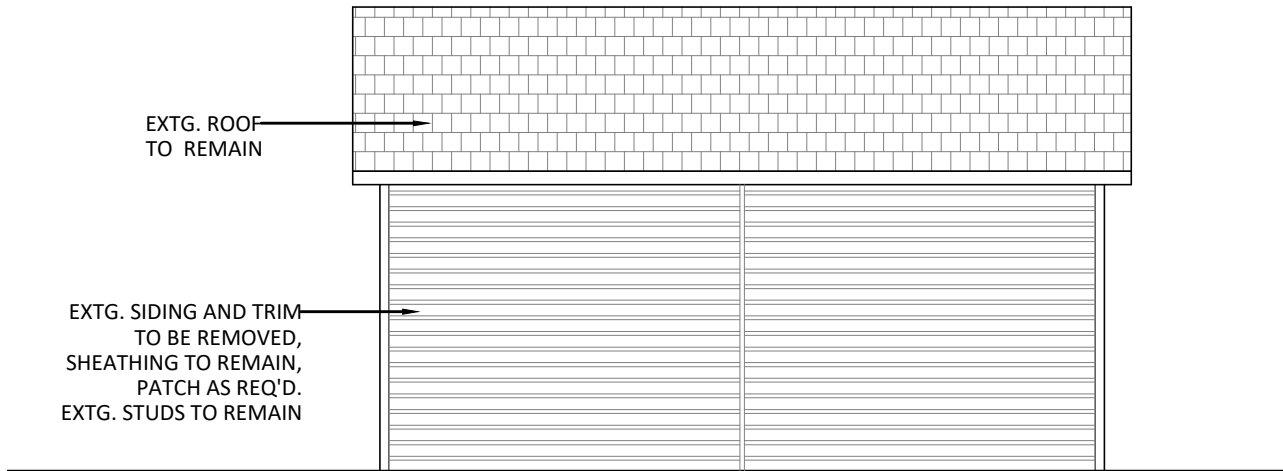




1

Rear Elevation

Scale 1/4"=1'-0"



2

Left Side Elevation

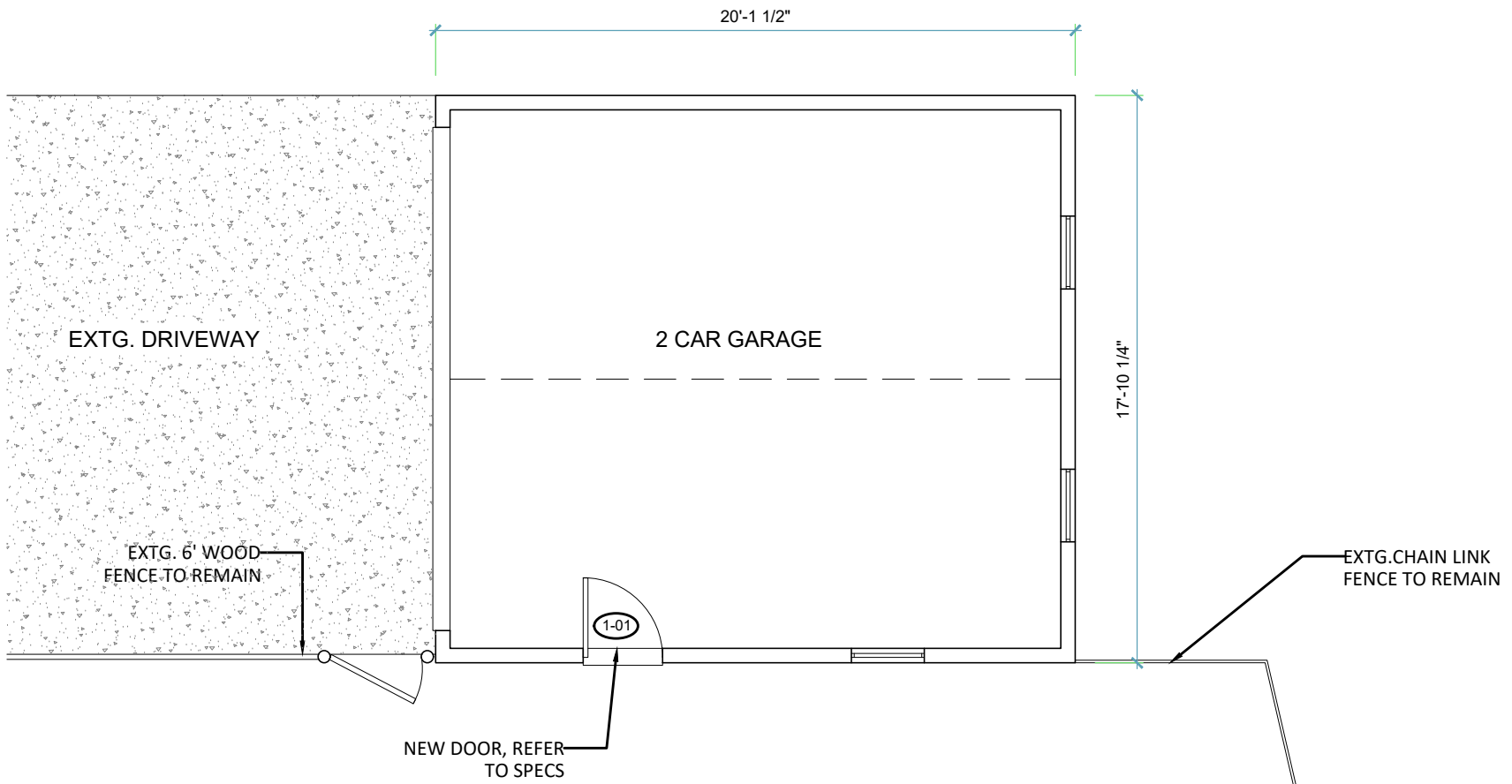
Scale 1/4"=1'-0"

DATE: 10/28/2020  
SCALE: 1/4" = 1'-0"  
FILE: garage

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

ELEVATIONS  
EXTG/DEMO elev.

D2.2



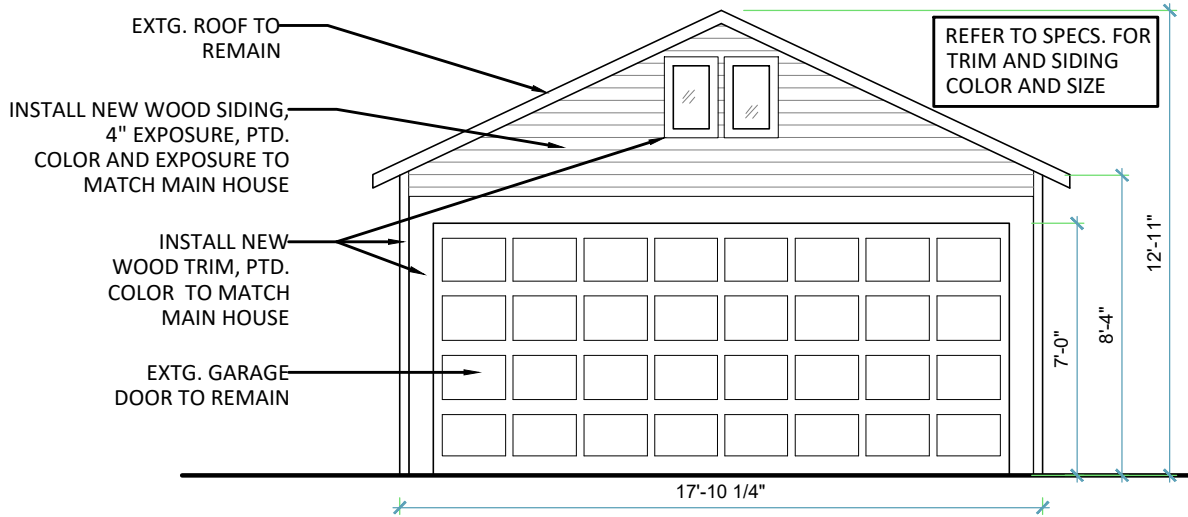
**1** Garage Plan  
Scale 1/4"=1'-0"

DATE: 10/28/2020  
SCALE: 1/4" = 1'-0"  
FILE: garage

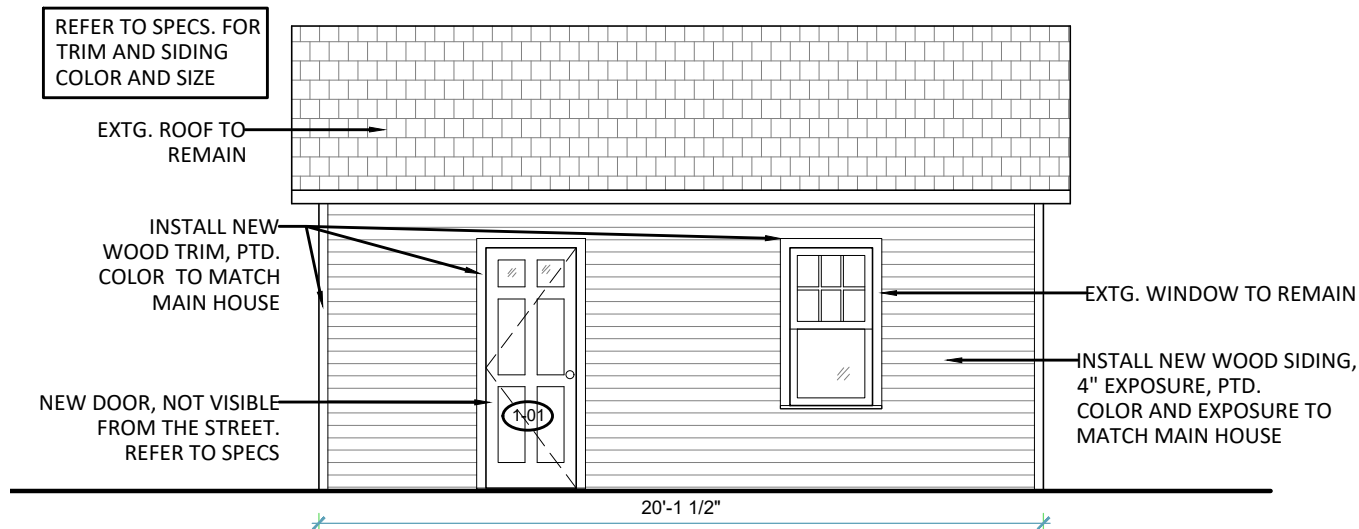
Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

GARAGE PLAN  
PROPOSED PLAN

**A1.1**



**1** Front Elevation on Leonard St.  
Scale 1/4"=1'-0"



**2** Right Side Elevation to Yard  
Scale 1/4"=1'-0"

DATE: 10/28/2020  
SCALE: 1/4" = 1'-0"  
FILE: garage

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

ELEVATIONS  
PROPOSED elev.

A2.1

REFER TO SPECS. FOR TRIM AND SIDING COLOR AND SIZE

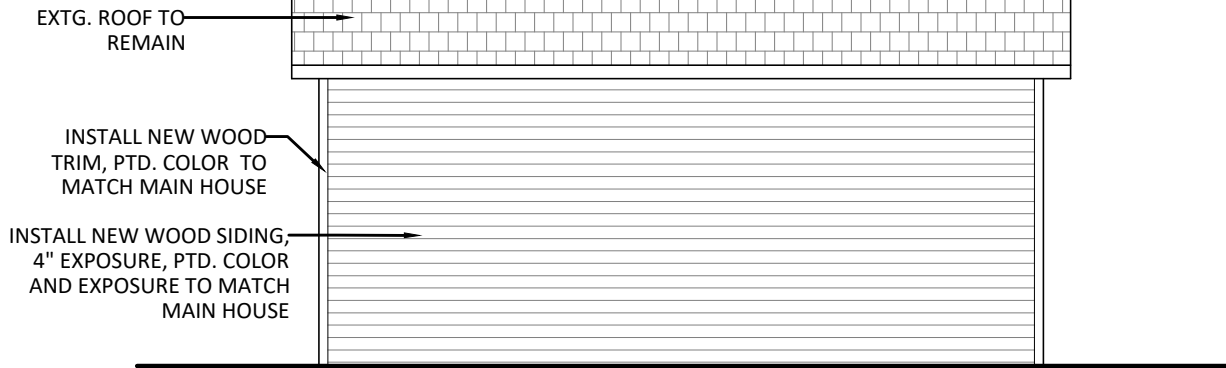


1

Rear Elevation

Scale 1/4"=1'-0"

REFER TO SPECS. FOR TRIM AND SIDING COLOR AND SIZE



2

Left Side Elevation

Scale 1/4"=1'-0"


DATE: 10/28/2020  
SCALE: 1/4" = 1'-0"  
FILE: garage

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

ELEVATIONS  
PROPOSED elev.

A2.2

NEW DOOR SCHEDULE									
DOOR No.	LOCATION	SIZE	OPENING	HARDWARE	MATERIAL	FINISH	FIRE RATED	HARDWARE No.	NOTES
1-01	GARAGE TO YARD	2'-6" x 6'-8"	LEFT HAND SWING	LOCK	FIBERGLASS	PTD TO MATCH TRIM COLOR	NO	-	

<u>BENJAMIN MOORE HISTORICAL COLORS TO MATCH MAIN HOUSE'S</u>	<u>PROPOSED SIDE DOOR TO THE YARD</u>
<p>SIDING</p> <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <p>Huntington Beige HC-21</p> </div> <p>TRIM</p> <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <p>Monterey White HC-27</p> </div>	 <p>30 in. x 80 in. Left-Hand Inswing 2-Lite Clear 4-Panel Primed Fiberglass Smooth Prehung Front Door on 6-9/16 in. Frame by MMI Door OR SIMILAR. The door will be painted white.</p>

<u>PROPOSED SIDING AND TRIM MATERIAL</u>
<p>CORNER BOARDS WILL BE CEDAR WOOD 3" WIDE</p> <p>TRIM AROUND WINDOWS AND NEW DOOR WILL BE CEDAR WOOD 3 1/2" WIDE</p> <p>THICK TRIM AROUND GARAGE DOOR TO MATCH EXTG. APPROX. 9" WIDE</p>

<p>Nancy &amp; Subbiah Doraiswami 560 Pleasant St. Belmont, MA</p>	<p>DATE: 10/28/2020 SCALE: 1/4" = 1'-0" FILE: garage</p>
<p>SPECS.</p>	<p>A3.1</p>



1 Main House view from Leonard St.  
NTS



2 Garage view from Leonard St.  
NTS

DATE: 10/28/2020  
SCALE: n.t.s.  
FILE: garage

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

EXTG. PHOTOS

A4.1



1 Garage Front Facade, view from Leonard St.  
NTS



2 Garage Right Side Facade  
NTS

DATE: 10/28/2020  
SCALE: n.t.s.  
FILE: garage

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

EXTG. PHOTOS

A4.2



1 Garage Rear Facade  
NTS



2 Garage Left Side Facade  
NTS

DATE: 10/28/2020  
SCALE: n.t.s.  
FILE: garage

Nancy & Subbiah Doraiswami  
560 Pleasant St.  
Belmont, MA

EXTG. PHOTOS

A4.3