



**Potential Change Order Request**

**Skanska USA Building Inc.**

**1318017 - Belmont Middle and High School**  
221 Concord Street  
Belmont, MA

**1318017 Belmont Middle and High School**

**Potential Change Order: 672** **Date: 5/18/2022**

<b>To:</b> Thomas Gatzunis Daedalus Projects Incorporated 1 Faneuil Hall Marketplace South Floor 3 Boston, MA 02109	<b>From:</b> Paige Matthews Skanska USA Building Inc. 101 Seaport Boulevard Suite 200 Boston, MA 02210 Tel: Fax:
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**Description**

RFI 1633 Screen Wall Sheathing Area D-F

**Notes**

Similar to phase 1, the TPO is not able to adhere to the sheathing at the screen wall per 8/A32-00 and will require plywood to be installed in lieu of sheathing as noted in RFI 1633. We have reviewed installing AVB in lieu of plywood and determined that the cost differential was negligible. The major reason being that staging would need to be built in order for the waterproofer to properly access the screen wall and perform their work.

Please note that we had the same condition in phase 1 and the cost was captured in PCO 182 and noted in RFI 841.

Neither the adjustments to the Contract Price nor the Contract Time upon which this PCO is based contemplates any project delays , suspensions, disruptions, cost escalations or other impacts caused, directly or indirectly, by the Pandemic (as defined in the GMP), as such cost adjustment to the Contract Sum and GMP shall be reconciled in accordance with the Owner Pandemic Allowance. Skanska further reserves all rights to request adjustment of the Contract Time as a result of the Pandemic Standards and in connection with this PCO. Skanska will make every reasonable effort to provide the required documentation and notice in accordance with this Contract, however, Skanska may not be able to meet the contractual deadlines due to circumstances outside of Skanska's control.

**Schedule Impact**

Skanska reserves the right to continue to assess our construction schedule on a monthly basis and advise the Owner of any impacts at that time.

Item No	Company	Item Description	Amt Prop
0001	Sweeney Drywall Finishes Corp.	Drywall - Sweeney Drywall 046 - plywood for mechanical screen wall in order for TPO to adhere to. Proposal dated 5/12/22	\$19,928.00
Level 1	Skanska USA Building Inc.	1.35% SDI Markup	\$269.00
Level 2	Skanska USA Building Inc.	2.70% CCIP Markup	\$545.00
Level 3	Skanska USA Building Inc.	5.00% Skanska O & P Markup	\$1,037.00
Level 4	Skanska USA Building Inc.	.73% P & P Bond Markup	\$159.00
<b>PCO #672 Total:</b>			<b>\$21,938.00</b>

<b>Submitted By:</b>	<b>Architect/Design Approval By:</b>	<b>Approved By:</b>
Signature _____	Signature _____	Signature _____
Name Paige Matthews	Name Brian Spangler	Name Thomas Gatzunis
Date _____	Date _____	Date _____

Sweeney Drywall

**Bid Summary**  
*Phase 2 building D E and F-pricing*

**RFI 841 Plywood at well phase 2**

Bid No. 500

Selected Sections: 01705 Fastners and Tool Expense, 06100 Rough Carpentry

Selected Typical Areas:

Selected Areas: (unassigned), Temp Work, Doors and hardware, Floor 1 (A, B, C, D, E, F), Floor 2 (A, B, C, D, E, F), Floor 3 (A, B, C, D, E, F), Floor 4 (A, B, C, D, E, F), Roof (A, B, C, D, E, F), roof work 2nd floor, temp wall/ej work, rood edge work

No.	Condition	Height	Quantity	Unit Cost			Total Cost	Man Days
				Mat.	Lab.	Total		
1	Plywood in lieu of desglass at well	15' 0"	142.00 LF	41.75	80.29	122.03 / LF	17,328.38	15.13
<b>Material &amp; Labor Subtotal:</b>							<b>17,328.38</b>	<b>15.13</b>
<b>Grand Subtotal:</b>							<b>17,328.38</b>	<b>15.13</b>
<b>15.00% Overhead</b>							2,599.26	
<b>0.00% Profit</b>							0.00	
<b>Grand without additional markups Total:</b>							<b>19,927.63</b>	
<b>Additional Markups Total:</b>							<b>0.00</b>	
<b>Grand Total:</b>							<b>19,927.63</b>	

Sweeney Drywall

# Payroll Report

## Phase 2 building D E and F-pricing

### RFI 841 Plywood at well phase 2

Bid No. 500

Selected Sections: 01705 Fastners and Tool Expense, 06100 Rough Carpentry

Selected Typical Areas:

Selected Areas: (unassigned), Temp Work, Doors and hardware, Floor 1 (A, B, C, D, E, F), Floor 2 (A, B, C, D, E, F), Floor 3 (A, B, C, D, E, F), Floor 4 (A, B, C, D, E, F), Roof (A, B, C, D, F), roof work 2nd floor, temp wall/ej work, rood edge work

Estimator:  
Job Class:  
Wage Type: **Boston**

Job Status:  
Bid Date/Time: **2/26/2020 2:00:00 PM**  
Plans Date: **1/20/2020**

Payroll Class	Base	Stamp	Insurance	Tax	MA Sick Time	Holiday/Vac	Indirect Cost	Hourly Wage	Daily Wage	Hours	Per Diem	Gross Pay
Carpenter (Boston)	104.05	0.00	0.00	0.00	0.00	0.00	0.00	104.05	832.40	51.64	0.00	5,372.76
Carpenter Foreman (Boston)	111.00	0.00	0.00	0.00	0.00	0.00	0.00	111.00	888.00	6.20	0.00	687.80
Laborer (Boston)	84.44	0.00	0.00	0.00	0.00	0.00	0.00	84.44	675.52	63.24	0.00	5,340.03
<b>Totals</b>		<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>			<u>121.07</u>	<u>0.00</u>	<u>11,400.59</u>

# Stocking Report

## Phase 2 building D E and F-pricing

### RFI 841 Plywood at well phase 2

Bid No. 500

Selected Sections: 01705 Fastners and Tool Expense, 06100 Rough Carpentry

Selected Typical Areas:

Selected Areas: (unassigned), Temp Work, Doors and hardware, Floor 1 (A, B, C, D, E, F), Floor 2 (A, B, C, D, E, F), Floor 3 (A, B, C, D, E, F), Floor 4 (A, B, C, D, E, F), Roof (A, B, C, D, E, F), roof work 2nd floor, temp wall/ej work, rood edge work

Materials	Quantity	Pieces	Stocked	Date/Initials
<b>1-100-001</b>				
1 1/4" Sharp Drywall Screws	2,343.00 SF	2,343.00	_____	_____
<b>ROUGHCARPMAT</b>				
add for lab mat dens to plywood, 4' x 8'	2,343.00 SF	73.22	_____	_____





**Skanska USA Building**  
 101 Seaport Boulevard  
 Suite 200  
 Boston, Massachusetts 02210  
 P: (617) 574-1400  
 F: (617) 574-1399

**Project: 1318017 Belmont Middle and High School**  
 80 Hittinger Street  
 Belmont, Massachusetts 02478

## RFI #1633: Screen Wall Sheathing Area D-F

<b>Status</b>	Closed on 05/12/22		
<b>To</b>	Jeff Brussel (Perkins + Will, Inc. (MA)) Christina Mulligan (Perkins + Will, Inc. (MA)) Vital Albuquerque (Perkins + Will, Inc. (MA)) Brian Spangler (Perkins + Will, Inc. (MA))	<b>From</b>	Michael Pisano (Skanska USA Building Inc. (MA)) 101 Seaport Boulevard Suite 200 Boston, Massachusetts 02210
<b>Date Initiated</b>	May 10, 2022	<b>Due Date</b>	May 19, 2022
<b>Location</b>		<b>Project Stage</b>	Construction
<b>Cost Impact</b>		<b>Schedule Impact</b>	
<b>Spec Section</b>	06 1600 - Sheathing	<b>Cost Code</b>	
<b>Drawing Number</b>		<b>Reference</b>	
<b>Linked Drawings</b>			
<b>Posted</b>			
<b>Received From</b>	Jordan Correa (Sweeney Drywall Finishes Corp.)	<b>Sub Job</b>	
<b>Copies To</b>	Christina Mulligan (Perkins + Will, Inc. (MA))		

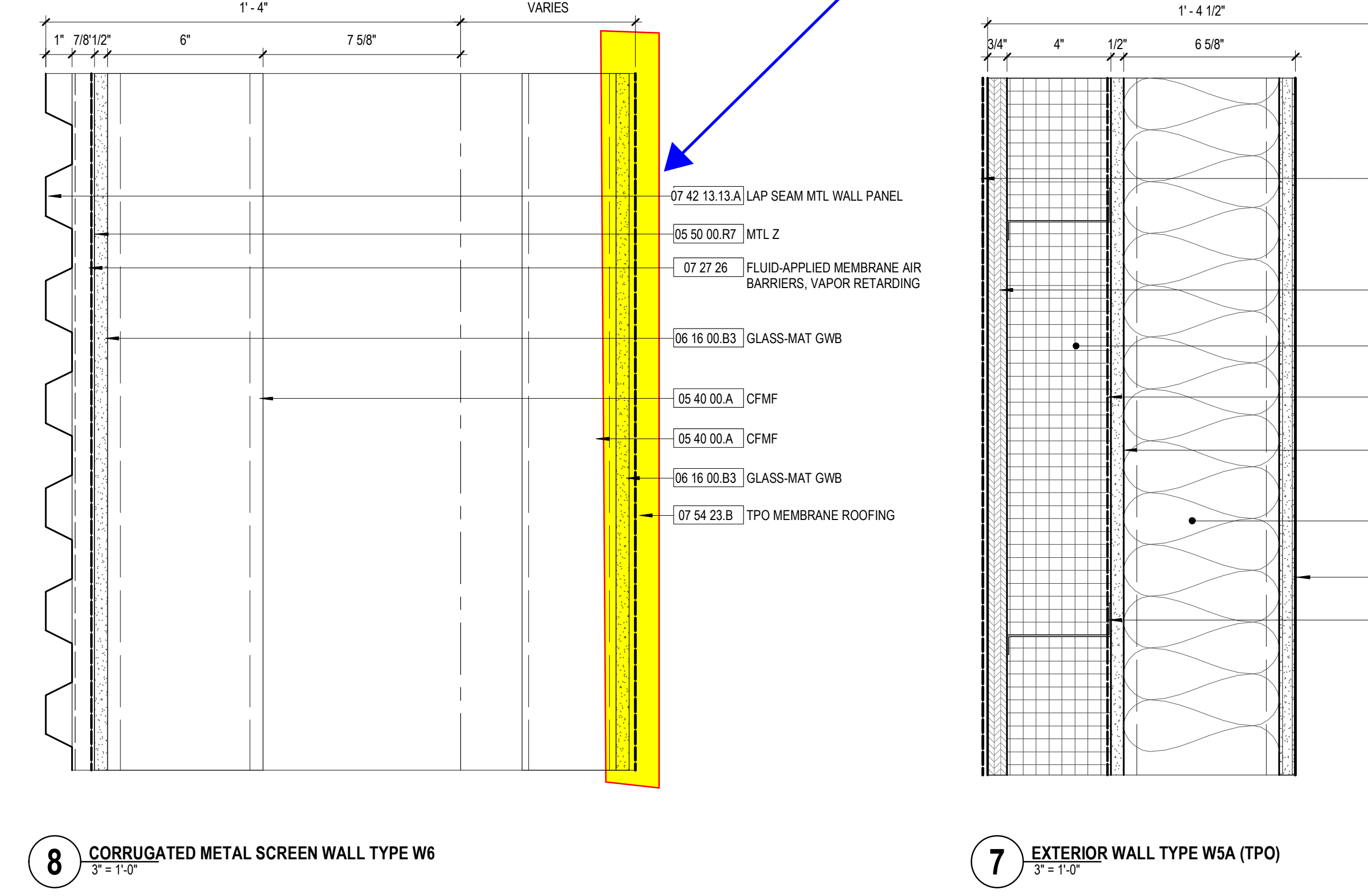
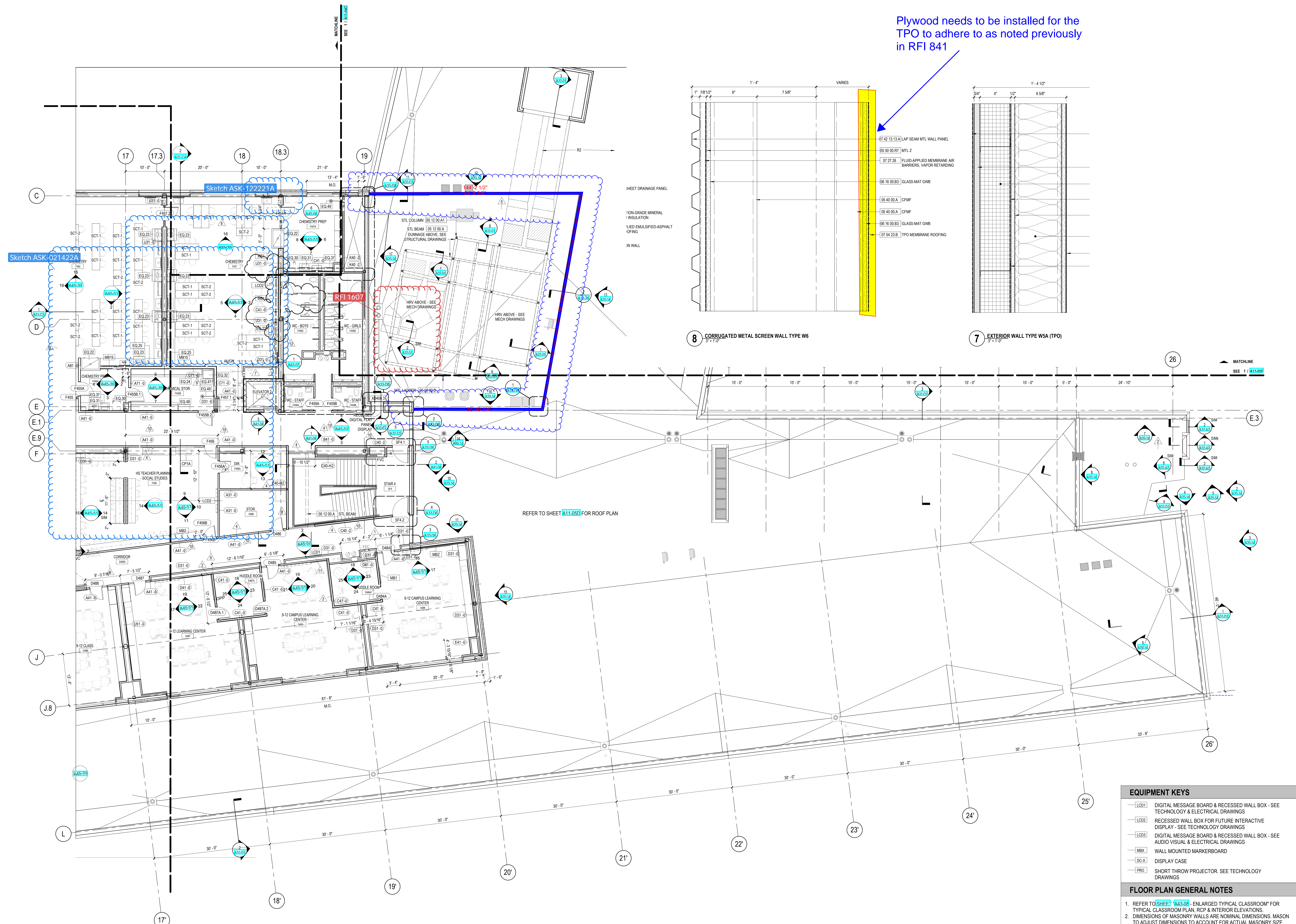
### ADDITIONAL RFI DETAILS

<b>RFI Category</b>	Constructability	<b>RFI Discipline</b>	Architectural
<b>Subcontractor RFI #</b>		<b>Urgency</b>	

### Activity

<b>Question</b>	<p><b>Question from Michael Pisano Skanska USA Building Inc. (MA) on Tuesday, May 10, 2022 at 04:38 PM EDT</b></p> <p>As noted in RFI 841 for Phase 1, the screen wall for Phase 2 will require plywood to be installed over the sheathing in order for the TPO to adhere to it. Please see the attached drawing outlining the areas required as well as RFI 841 for reference.</p> <p><b>Attachments</b>  <a href="#">Backup.pdf</a></p>
<b>Official Response</b>	<p><b>Response from Brian Spangler Perkins + Will, Inc. (MA) on Wednesday, May 11, 2022 at 04:26 PM EDT</b></p> <p>The glass mat sheathing can be substituted for plywood as noted.</p> <p>Any cost or schedule impact as a result of this response shall be reviewed per the contract and the Owner's procedures prior to the work being performed.</p>
<b>All Replies</b>	<p><b>Response from Brian Spangler Perkins + Will, Inc. (MA) on Wednesday, May 11, 2022 at 04:26 PM EDT</b></p> <p>The glass mat sheathing can be substituted for plywood as noted.</p> <p>Any cost or schedule impact as a result of this response shall be reviewed per the contract and the Owner's procedures prior to the work being performed.</p>

Plywood needs to be installed for the TPO to adhere to as noted previously in RFI 841



1 LEVEL 04 - AREA D  
1/8" = 1'-0"

**EQUIPMENT KEYS**

- LCD1 DIGITAL MESSAGE BOARD & RECESSED WALL BOX - SEE TECHNOLOGY & ELECTRICAL DRAWINGS
- LCD2 RECESSED WALL BOX FOR FUTURE INTERACTIVE DISPLAY - SEE TECHNOLOGY DRAWINGS
- LCD3 DIGITAL MESSAGE BOARD & RECESSED WALL BOX - SEE AUDIO VISUAL & ELECTRICAL DRAWINGS
- MBX WALL MOUNTED MARKERBOARD
- DCX DISPLAY CASE
- PRO SHORT THROW PROJECTOR. SEE TECHNOLOGY DRAWINGS

**FLOOR PLAN GENERAL NOTES**

- REFER TO SHEET 04.03.08 - ENLARGED TYPICAL CLASSROOM\* FOR TYPICAL CLASSROOM PLAN, RCP & INTERIOR ELEVATIONS.
- DIMENSIONS OF MASONRY WALLS ARE NOMINAL DIMENSIONS. MASON TO ADJUST DIMENSIONS TO ACCOUNT FOR ACTUAL MASONRY SIZE.
- WHERE AN INTERIOR PARTITION IS NOT DESIGNATED, ASSUME TYPE A31.
- REFER TO SHEET 04.01.01 - INTERIOR PARTITION TYPES & DETAILS\* FOR PARTITION TYPES SCHEDULE.
- REFER TO LIFE SAFETY DRAWINGS FOR PARTITION FIRE RATINGS.
- REFER TO A45-00 SERIES "INTERIOR ELEVATIONS FOR CASEWORK TYPES."
- ELECTRICAL PLATES AND DEVICES SHOULD BE CENTERED ON WALL, UNO.
- REFER TO A13.00 SERIES FOR FINISH LEGEND, WALL TRIM & WALL PROTECTION FINISHES.
- REFER TO SHEET 00.02.02 - TYPICAL MOUNTING HEIGHT\* FOR ALL TYPICAL MOUNTING HEIGHTS.
- REFER TO A13.00 SERIES FOR FINISH LEGEND, WALL TRIM & WALL PROTECTION FINISHES.
- REFER TO A13.00 SERIES "SLAB EDGE PLANS" FOR FLOOR PENETRATION AND MISC POSTS.
- REFER TO SHEET 04.02.11 - INTERIOR DETAILS - MISC \* FOR THE EQUIPMENT LEGEND.
- REFER TO SHEET 04.03.00 - FINISH LEGEND\* FOR DEVICE FINISH SCHEDULE.
- ALL EXPOSED STEEL CONSTRUCTION IN ENCLOSED STAIRWELLS SHALL BE PAINTED P74.

PROJECT

**BELMONT MIDDLE AND HIGH SCHOOL**  
221 COLSON AVE.  
BELMONT, MA 02478

TOWN OF BELMONT

KEYPLAN

REVISIONS

NO.	DESCRIPTION	DATE
12	CCD-341	08.17.2021
11	CCD-184	10.21.2020
10	CCD-183	10.13.2020
9	CCD-111	09.22.2020
8	CCD-182	09.02.2020
7	CCD-185	08.25.2020
6	CCD-157	08.18.2020
5	PR-022	05.11.2020
4	ADDENDUM #4	01.29.2020
3	ADDENDUM #3	01.24.2020
MARK	ISSUE	DATE

**CONFORMED SET**  
02.06.2020

JOB NUMBER: 153003.001  
AUTHOR: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
TITLE: \_\_\_\_\_

**LEVEL 04 FLOOR PLAN - AREA D**

**A11-04D**

B:\172021\3\_18\_21\172021\_3\_18\_21\_Plan\_Schedule\172021\_3\_18\_21\_Plan\_Schedule.dwg



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## RFI #841: Screen Wall Waterproofing

<b>Status</b>	Closed on 10/20/20		
<b>To</b>	Jeff Brussel (Perkins + Will, Inc. (MA)) Brian Spangler (Perkins + Will, Inc. (MA)) Mirelle Botros (Perkins + Will, Inc. (MA)) Vital Albuquerque (Perkins + Will, Inc. (MA))	<b>From</b>	Lauren Fraser (Skanska USA Building Inc. (MA)) 101 Seaport Boulevard Suite 200 Boston, Massachusetts 02210
<b>Date Initiated</b>	Oct 8, 2020	<b>Due Date</b>	Oct 19, 2020
<b>Location</b>		<b>Project Stage</b>	
<b>Cost Impact</b>		<b>Schedule Impact</b>	
<b>Spec Section</b>		<b>Cost Code</b>	
<b>Drawing Number</b>	4/A32-C9	<b>Reference</b>	
<b>Linked Drawings</b>	<a href="#">A32-C9</a>		
<b>Posted</b>			
<b>Received From</b>	Paige Matthews (Skanska USA Building Inc. (MA))	<b>Sub Job</b>	
<b>Copies To</b>	Mirelle Botros (Perkins + Will, Inc. (MA)), Jake Chiudina (Skanska USA Building Inc. (MA)), Justin Craft (Skanska USA Building Inc. (MA)), Tony DelGreco (Daedalus Projects Incorporated), Justin Ferdenzi (Daedalus Projects Incorporated), Lauren Fraser (Skanska USA Building Inc. (MA)), Thomas Gatzunis (Daedalus Projects Incorporated), Gary Hewitt (Skanska USA Building Inc. (MA)), Manuel Hoyo (Skanska USA Building Inc. (MA)), Scott MacKenzie (Skanska USA Building Inc. (MA)), Paige Matthews (Skanska USA Building Inc. (MA)), Marissa Mezzoff (Skanska USA Building Inc. (MA)), Mike Morrison (Skanska USA Building Inc. (MA)), Jonathan Simard (Skanska USA Building Inc. (MA)), Gabriel Suriel (Daedalus Projects Incorporated), Thomas Watson (Skanska USA Building Inc. (MA))		

### ADDITIONAL RFI DETAILS

<b>RFI Category</b>	<b>RFI Discipline</b>
<b>Subcontractor RFI #</b>	<b>Urgency</b>

### Activity

<b>Question</b>	<p><b>Question from Lauren Fraser Skanska USA Building Inc. (MA) on Thursday, Oct 8, 2020 at 07:01 AM EDT</b></p> <p>Detail 4/A32-C9 calls for sheathing and TPO on the south side of the screen wall. Per GAF, TPO cannot be adhered to sheathing (must be plywood). In speaking with Vital Albuquerque, the plywood was added to the assembly to finish the detail. The north side of the screen wall, shows graphically AVB behind the corrugated metal panel. In conversation with Jeff Brussel, this was confirmed as a requirement.</p>
<b>Official Response</b>	<p><b>Response from Vital Albuquerque Perkins + Will, Inc. (MA) on Monday, Oct 19, 2020 at 09:49 PM EDT</b></p> <p>See attached response.</p> <p><b>Attachments</b>  <a href="#">RFI CON-841 Screen Wall Waterproofing-PW.pdf</a></p>



**All Replies**

**Response from Vital Albuquerque Perkins + Will, Inc. (MA)** on *Monday, Oct 19, 2020 at 09:49 PM EDT*

See attached response.

**Attachments**

[RFI CON-841 Screen Wall Waterproofing-PW.pdf](#)



Skanska USA  
101 Seaport Boulevard  
Suite 200  
Boston, Massachusetts 02210  
Phone: (617) 574-1400  
Fax: (617) 574-1399

**Project:** 1318017 - Belmont Middle and High School  
221 Concord Avenue  
Belmont, Massachusetts 02478

## Screen Wall Waterproofing

<b>TO:</b>	Mirelle Botros ( <b>Perkins + Will, Inc. (MA)</b> ) Vital Albuquerque ( <b>Perkins + Will, Inc. (MA)</b> ) Brian Spangler ( <b>Perkins + Will, Inc. (MA)</b> ) Jeff Brussel ( <b>Perkins + Will, Inc. (MA)</b> )	<b>FROM:</b>	Lauren Fraser ( <b>Skanska USA Building Inc. (MA)</b> ) 101 Seaport Boulevard Suite 200 Boston, Massachusetts 02210
<b>DATE INITIATED:</b>	10/08/2020	<b>STATUS:</b>	Open
<b>LOCATION:</b>		<b>DUE DATE:</b>	10/19/2020
<b>URGENCY</b>		<b>REFERENCE:</b>	
<b>COST IMPACT:</b>		<b>SCHEDULE IMPACT:</b>	
<b>DRAWING NUMBER:</b>	4/A32-C9	<b>SPEC SECTION:</b>	
<b>RECEIVED FROM:</b>	Paige Matthews ( <b>Skanska USA Building Inc. (MA)</b> )	<b>RESPONSIBLE CONTRACTOR:</b>	Skanska USA Building Inc. (MA)

<b>SUBCONTRACTOR RFI #</b>	
<b>RFI CATEGORY</b>	<b>RFI DISCIPLINE</b>

**Posted:**

**COPIES TO:**

Mirelle Botros (**Perkins + Will, Inc. (MA)**), Jake Chiudina (**Skanska USA Building Inc. (MA)**), Justin Craft (**Skanska USA Building Inc. (MA)**), Tony DelGreco (**Daedalus Projects Incorporated**), Justin Ferdenzi (**Daedalus Projects Incorporated**), Lauren Fraser (**Skanska USA Building Inc. (MA)**), Thomas Gatzunis (**Daedalus Projects Incorporated**), Gary Hewitt (**Skanska USA Building Inc. (MA)**), Manuel Hoyo (**Skanska USA Building Inc. (MA)**), Scott MacKenzie (**Skanska USA Building Inc. (MA)**), Paige Matthews (**Skanska USA Building Inc. (MA)**), Marissa Mezoff (**Skanska USA Building Inc. (MA)**), Mike Morrison (**Skanska USA Building Inc. (MA)**), Jonathan Simard (**Skanska USA Building Inc. (MA)**), Gabriel Suriel (**Daedalus Projects Incorporated**), Thomas Watson (**Skanska USA Building Inc. (MA)**)

**Question from Lauren Fraser (Skanska USA Building Inc. (MA)) at 07:01 AM on 10/08/2020**

Detail 4/A32-C9 calls for sheathing and TPO on the south side of the screen wall. Per GAF, TPO cannot be adhered to sheathing (must be plywood). In speaking with Vital Albuquerque, the plywood was added to the assembly to finish the detail. The north side of the screen wall, shows graphically AVB behind the corrugated metal panel. In conversation with Jeff Brussel, this was confirmed as a requirement.

Awaiting an Official Response

**All Replies:**

**PW Response:**  
**Confirmed as stated in RFI**

<b>BY</b>	<b>DATE</b>	<b>COPIES TO</b>
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